

APPLICATION OR APEAL#: 49-20

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

1) Applicant: JCJ Architecture, Christine O'Hare, AIA
Mailing Address: 120 Huyshope Avenue, Hartford, CT 06106
Phone#: 860.428.7241 (cell)
Email: cohare@jcyj.com

2) Premises located at: 54 Gillotti Road on the (N S E W) side of the street
at approx. 580 feet (N S E W) from Erin Drive (nearest intersecting road).

3) Property Owner Name: Town of New Fairfield

Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 23 Block No.: 16 Lot No.: 11

5) Zone in which property is located: Residential (R-88) Area of Lot: 76.7 acres

6) Dimensions of Lot: Frontage: +/-152 ft Average Depth: 1,000 ft

7) Do you have any Right of Ways or Easements on the property? No

8) Is the property within 500 feet of Danbury, Sherman or New York State? No

9) Have any previous applications been filed with ZBA on this property? NO Yes

If so, give dates and application numbers: _____

10) Proposal for which variance is requested: _____

building height for new High School

Hardship: See attached

11) Date of Zoning Commission Denial: November 29, 2020

12) Variance(s) Requested: () USE (X) DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: _____ Rear to: _____

N/A Side to: _____ Side to: _____

Use to be made of property if variance is granted: New High School

If Application relates to a Cease and Desist Order then this application must be made within 30 Days
of the date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

Signature of OWNER OR AGENT: Patricia Lel Monaco DATE: November 20, 2020

#4

54 GILLOTTI ROAD – NEW FAIRFIELD HIGH SCHOOL

Hardship Request:

The project is seeking a variance for the building height, from the allowable 35' to 44.5'. There are certain programmatic requirements that help dictate the building height, namely the gymnasium and auditorium. Additionally, there are a number of other elements that make up a high school program, including classrooms, the cafeteria and support spaces. This requires a large gross square footage.

Stacking the building also allows for less impact to the site by decreasing the limit of disturbance for the building and adjacent parking lots by keeping the building footprint smaller. This has also allowed us to keep the building and most of the sitework outside the upland review area and from impacting playing fields on the property.

From a budgetary standpoint, it is more economical to stack the building into three stories than the one to two-stories that would be zoning compliant. A smaller footprint also helps with construction phasing. There are a lot of demands on a very congested site during construction.

Also, per the Zoning Regulations, building height is based on the average grade around the building. Based on the site topography, even though the building is partially buried to help it relate to the middle school and the drop-off portion of the site, the building height is primarily driven by the lower grades around where the building is situated.

It should be noted that the existing High School and Middle School buildings exceed the allowable building height. See the attached elevations provided.

**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE
FROM: Evan White, Zoning Enforcement Officer
DATE: November 24, 2020
PROPERTY OWNER: Town of New Fairfield
PROPERTY ADDRESS: 54 Gillotti Road
APPLICANT/AGENT: JCJ Architecture, Christine O'Hare, AIA
MAILING ADDRESS: 120 Huyshope Avenue, Hartford, CT 06106
ZONING DISTRICT: R-88 **MAP:** 23 **BLOCK:**16 **LOT:** 11

Please be advised that (See attached description).

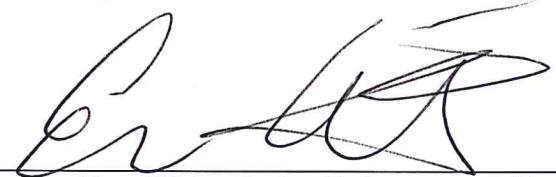
Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:
3.0.3-Maximum Building Height (A)
3.1.10-Maximum Building Height

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.



Evan White, Zoning Enforcement Officer
Town of New Fairfield

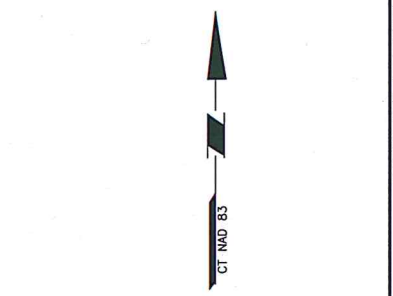
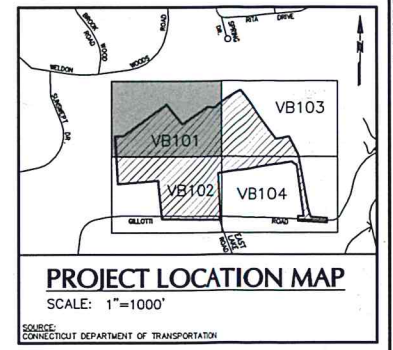
NOTES

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS SURVEY IS A PARTIAL PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - MAP TITLED "PORTION OF PROPERTY OF LYDIA GILLOTTI GILLOTTI ROAD NEW FAIRFIELD, CONNECTICUT", SCALE: 1"=100', DATED: OCTOBER 4, 1969, BY: THOMAS KEANE, L.S., MAP #1426
 - MAP TITLED "MAP PREPARED FOR TOWN OF NEW FAIRFIELD GILLOTTI ROAD, ROUTE 39, & WELDON WOODS ROAD NEW FAIRFIELD, CONNECTICUT AREA = 140.8026 ACRES", SCALE: 1"=100', DATED: AUGUST 30, 1988, LAST REVISED: JANUARY 11, 1993, SHEET NO. 1 OF 2, BY: DAVID L. RYAN LAND SURVEYING & SITE PLANNING
 - MAP TITLED "SITE SURVEY & OVERALL PLAN, MAP PREPARED FOR TOWN OF NEW FAIRFIELD GILLOTTI ROAD, ROUTE 39, & WELDON WOODS ROAD NEW FAIRFIELD, CONNECTICUT AREA = 140.8026 ACRES", SCALE: 1"=100', DATED: AUGUST 30, 1988, LAST REVISED: JANUARY 11, 1993, SHEET NO. 2 OF 2, BY: DAVID L. RYAN LAND SURVEYING & SITE PLANNING
 - MAP TITLED "PROPERTY SURVEY PREPARED FOR TOWN OF NEW FAIRFIELD 74 GILLOTTI ROAD TOWN OF NEW FAIRFIELD FAIRFIELD COUNTY, CT.", SCALE: 1"=50', DATED: JANUARY 25, 2006, BY: PAUL A. HIRO, P.C.
 - MAP TITLED "LOT LINE MODIFICATION PLAN MEETING HOUSE HILL SCHOOL #24 GILLOTTI ROAD TOWN OF NEW FAIRFIELD, COUNTY OF FAIRFIELD STATE OF CONNECTICUT", SCALE: 1"=50', DATED: 11/13/2009, BY: BL COMPANIES, MAP #3476
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).
- ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTHS OF FEBRUARY & MARCH 2020.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "FAIRFIELD COUNTY, CONNECTICUT PANEL 110 OF 626, MAP NUMBER 09001C0110F, EFFECTIVE DATE JUNE 18, 2010" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- WETLANDS DELINEATED AND FIELD LOCATED BY ALL-POINTS TECHNOLOGY CORPORATION DURING THE MONTH OF MARCH 2020.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

LEGEND (NOT SHOWN TO SCALE)

	AIR CONDITIONING UNIT		BITUMINOUS		TREE LINE
	BOLLARD		CONCRETE		OVERHEAD WIRE
	FLAG POLE		CONCRETE PAD		WETLAND LINE
	SIGN		LANDSCAPED AREA		EASEMENT LINE
	SHRUB		BUILDING OVERHANG		PROPERTY LINE
	TREE		BOTTOM OF WALL		RIGHT-OF-WAY LINE
	WETLAND FLAG		EDGE OF PAVEMENT		CABLE TV MARK OUT LINE
	CATCH BASIN		EDGE OF GRAVEL		DRAINAGE MARK OUT LINE
	CLEANOUT		EDGE OF WALK		ELECTRIC MARK OUT LINE
	ELECTRIC BOX		DETECTABLE WARNING		COMMUNICATION MARK OUT LINE
	ELECTRIC METER		BITUMINOUS CURB		GAS MARK OUT LINE
	FILLER VALVE		CONCRETE CURB		SANITARY SEWER MARK OUT LINE
	GUY WIRE		GRANITE CURB		DOMESTIC WATER MARK OUT LINE
	LIGHT POLE		SLOPED GRANITE CURB		FIRE WATER MARK OUT LINE
	MANHOLE (TYPE AS LABELED)		SINGLE WHITE STRIPE		STEAM MARK OUT LINE
	POWER POLE		BROKEN WHITE STRIPE		UNKNOWN MARK OUT LINE
	ROOF DRAIN		SINGLE YELLOW STRIPE		REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING
	COMMUNICATION BOX		DOUBLE YELLOW STRIPE		
	VALVE UNKNOWN		METAL GUARD RAIL		
	WATER METER		CHAINLINK FENCE		

N 88°35'48" E 109.97' S 89°32'07" E 84.98' N 87°00'13" E 93.06'



Date	Description	No.
10/20/2020	UPDATED RECENTLY ACQUIRED PARCEL INFORMATION	1

REVISIONS

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

Andrew G. Ives 10/20/2020
 ANDREW G. IVES DATE SIGNED
 PROFESSIONAL LAND SURVEYOR
 CT STATE LIC. NO. 70286

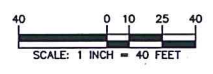
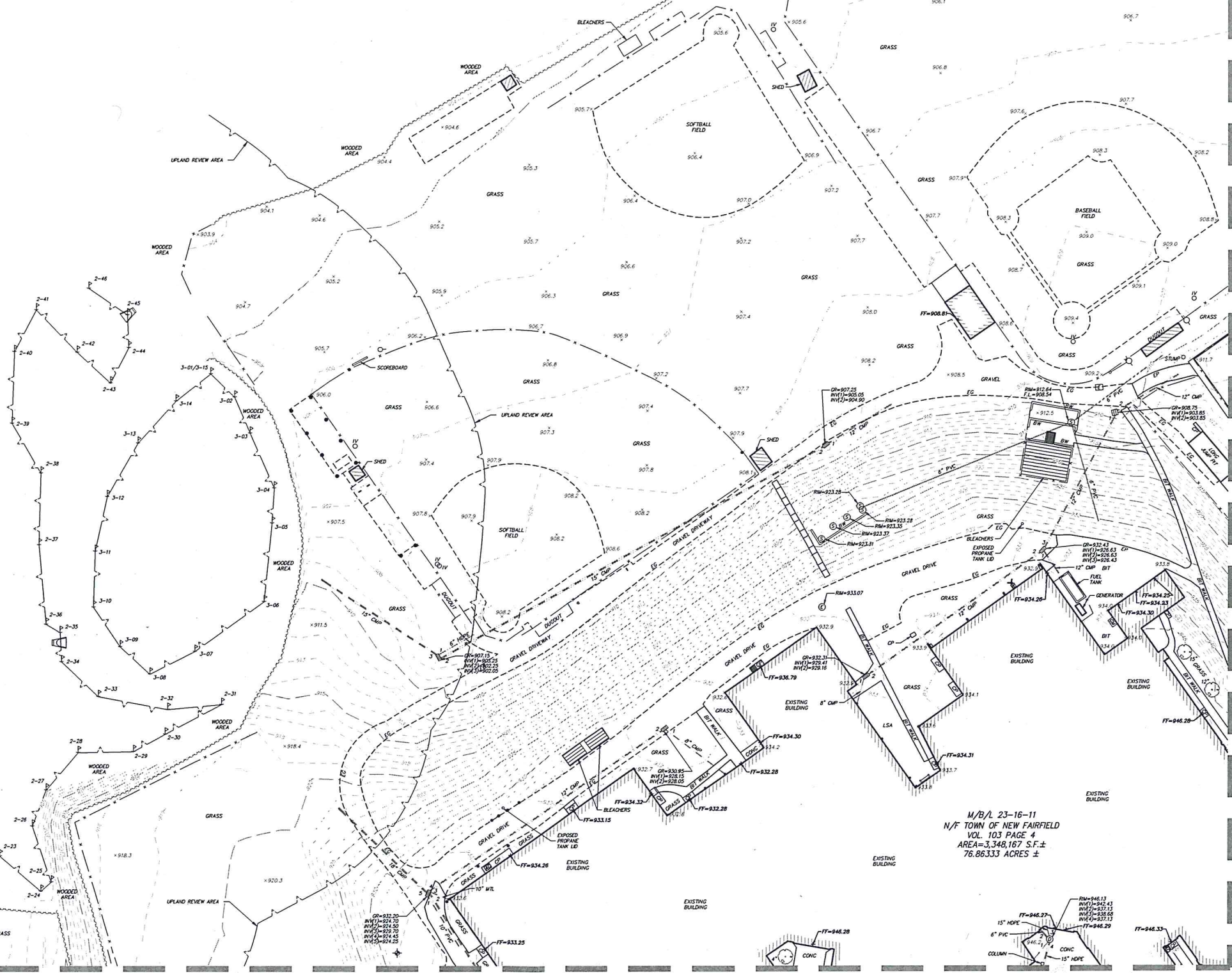
LANGAN

Langan CT, Inc.
 555 Long Wharf Drive
 New Haven, CT 06511
 T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
NEW FAIRFIELD MIDDLE & HIGH SCHOOL
 54 & 56 GILLOTTI ROAD CONNECTICUT

Drawing Title
PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY

Project No.	140215301
Date	APRIL 21, 2020
Drawn By	JIS
Checked By	AGI
Drawing No.	VB101
Sheet	1 of 4



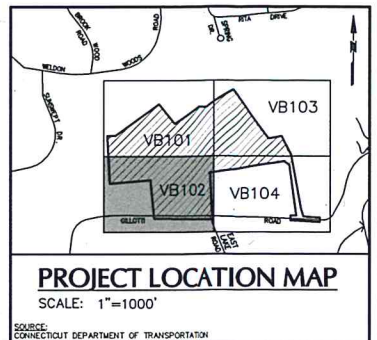
MATCHLINE A (SEE SHEET VB102)

MATCHLINE 1 (SEE SHEET VB103)

M/B/L 23-16-11
 N/F TOWN OF NEW FAIRFIELD
 VOL. 103 PAGE 4
 AREA=3,348,187 S.F. ±
 76.86333 ACRES ±

MATCHLINE A (SEE SHEET VB101)

MATCHLINE 2 (SEE SHEET VB104)



Date	Description	No.
10/20/2020	UPDATED RECENTLY ACQUIRED PARCEL INFORMATION	1

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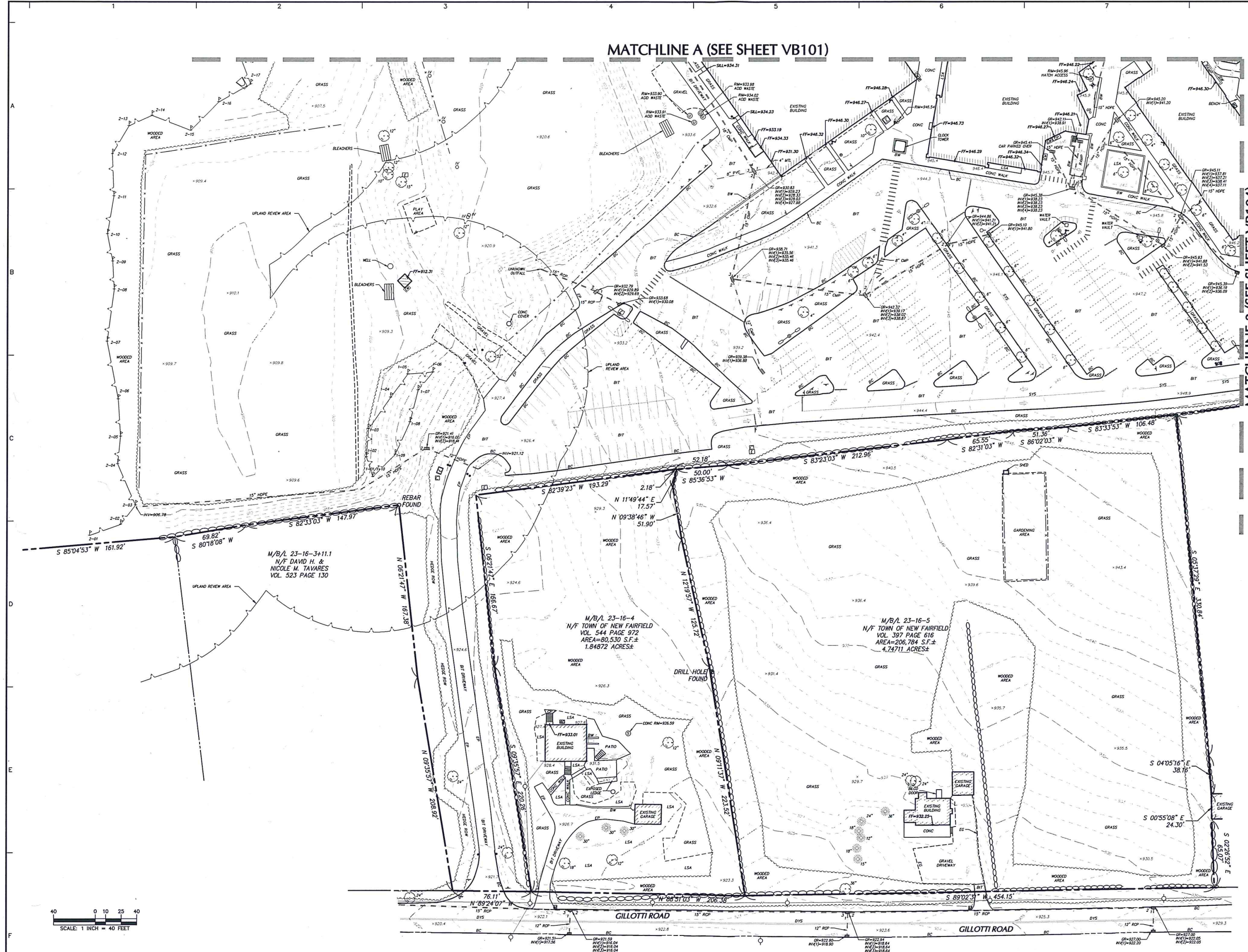
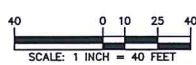
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PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY

Project No. 140215301	Drawing No. VB102
Date APRIL 21, 2020	Sheet 2 of 4
Drawn By JIS	
Checked By ACI	

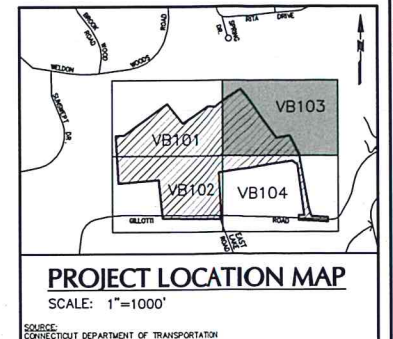
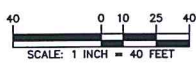


PROJECT NO. 140215301



MATCHLINE 1 (SEE SHEET VB101)

MATCHLINE B (SEE SHEET VB104)



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Date	Description	No.

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Project
NEW FAIRFIELD MIDDLE & HIGH SCHOOL
 54 & 56 GILLOTTI ROAD
 NEW FAIRFIELD CONNECTICUT

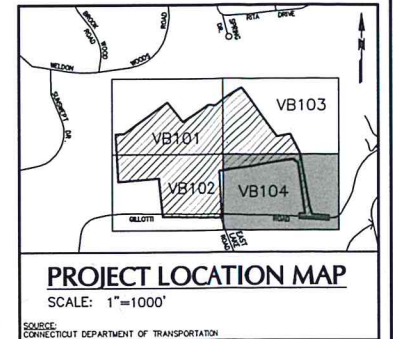
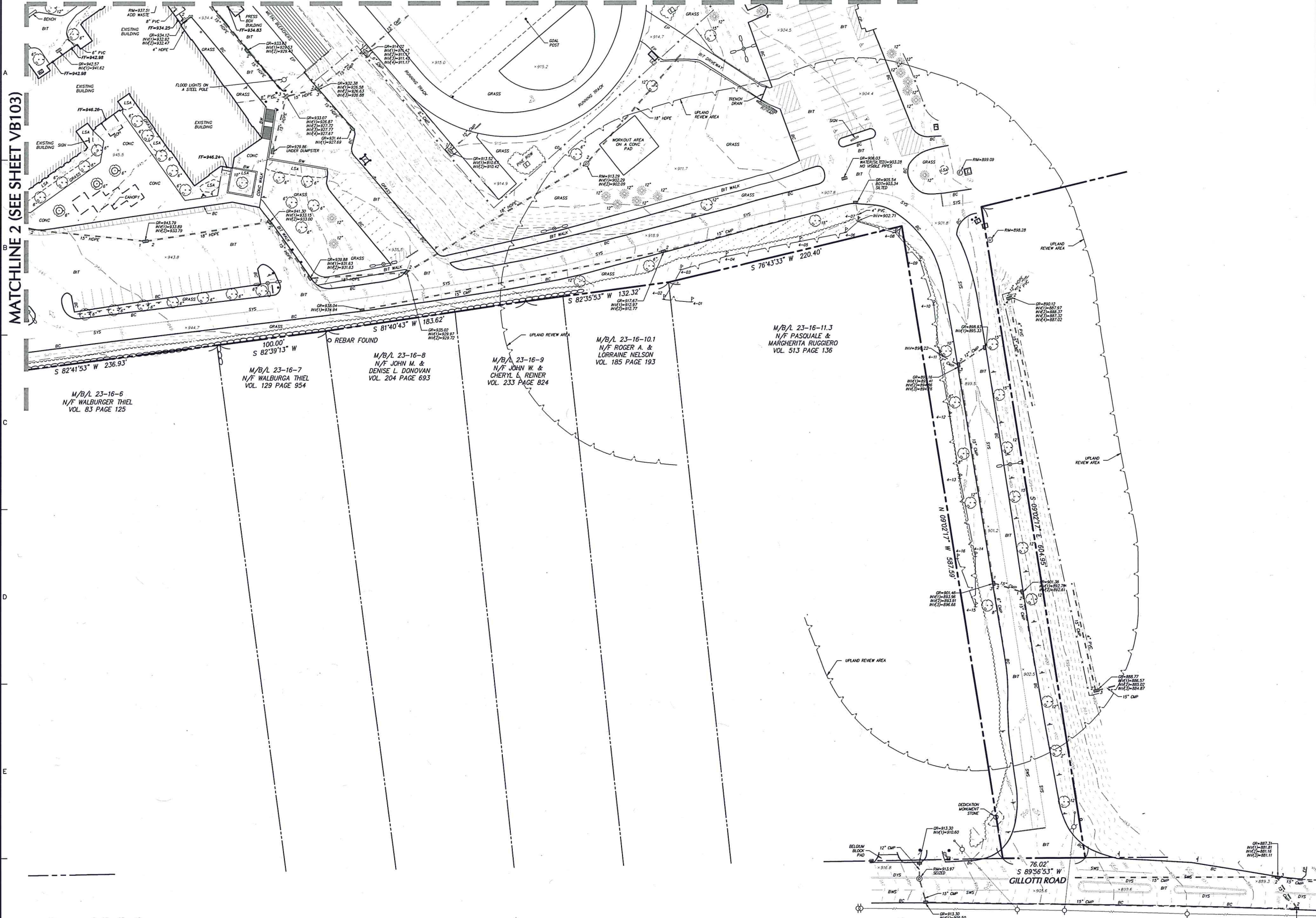
Drawing Title
PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY

Project No. 140215301	Drawing No. VB103
Date APRIL 21, 2020	Drawn By JIS
Checked By AGI	Sheet 3 of 4

PROJECT NO. 140215301

MATCHLINE B (SEE SHEET VB103)

MATCHLINE 2 (SEE SHEET VB103)



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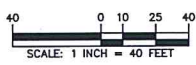
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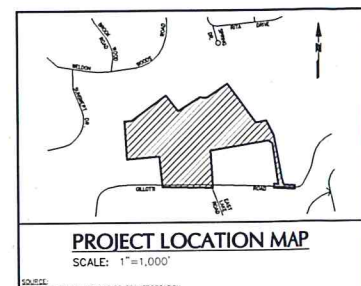
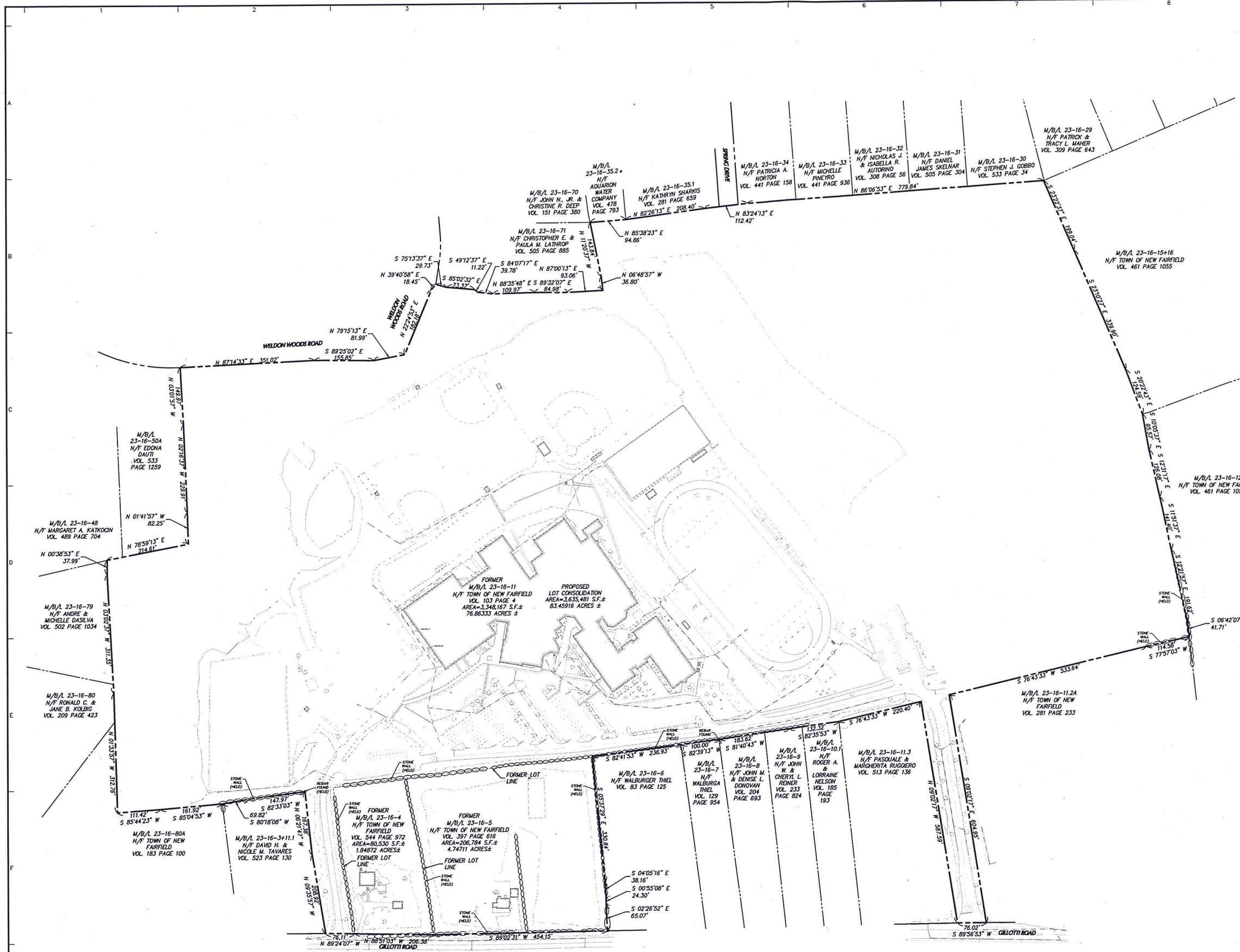
Drawing Title
PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY

Project No. 140215301	Drawing No. VB104
Date APRIL 21, 2020	
Drawn By JS	
Checked By AGI	



PROJECT NO. 140215301

Sheet 4 of 4



- NOTES**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS SURVEY IS A PARTIAL PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 LOT CONSOLIDATION SURVEY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A LOT CONSOLIDATION FOR LOTS 4, 5 & 11 FOR LANDS OWNED BY THE TOWN OF NEW FAIRFIELD.
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Date	Description	No.
REVISIONS		
"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."		
 SIGNATURE ANDREW G. IVES DATE SIGNED 11/11/2020		
LANGAN Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.582.5771 F: 203.789.8142 www.langan.com		
Project NEW FAIRFIELD MIDDLE & HIGH SCHOOL 54 & 56 GILLOTTI ROAD CONNECTICUT Drawing Title LOT CONSOLIDATION PLAN		
Project No. 140215301	Drawing No. VB105	
Date NOVEMBER 11, 2020	Drawn By SLW	Checked By ACJ
Scale in Feet 1" = 100' 		Sheet 1 of 1

PROJECT NO. 140215301

New Fairfield High School

54 Gilotti Rd,
New Fairfield, CT 06812

20231104-00023

JCJ ARCHITECTURE
120 HUNTSHOPE AVENUE
SUITE 400
HARTFORD, CT 06108
860.247.9226

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CONSULTANT:

Reference Cover
Sheet for Consultant
Directory

LANGAN



ZBA SUBMISSION
11/19/2020

NOT FOR CONSTRUCTION

PIC [PB]	DL [CR]
PM [CO]	DTL [SE]
ISSUE	NOT FOR CONSTRUCTION
JOB	H19078.00
DRAWN	RMS
SCALE	1"=60'
REVISIONS	

OVERALL SITE PLAN & NOTES

C-300

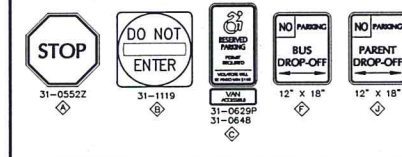
GENERAL NOTES

- EXISTING INFORMATION OBTAINED FROM A PLAN TITLED "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY", NEW FAIRFIELD MIDDLE & HIGH SCHOOL, 54 & 56 GILLOTTI ROAD, NEW FAIRFIELD, CT, DATED APRIL 9, 2020, AND PREPARED BY LANGAN.
- PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRONICALLY FROM JCJ ARCHITECTURE IN OCTOBER 2020.
- WETLANDS WERE DELINEATED AND FIELD LOCATED BY ALL-POINTS TECHNOLOGY CORPORATION DURING THE MONTH OF FEBRUARY 2020.
- THE SITE IS LOCATED WITHIN ZONE X, AN AREA OF MINIMAL FLOODING, PER FEMA FIRM MAP 05001C010F, EFFECTIVE DATE 6/18/2010.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
LIMIT OF WETLANDS		
UPLAND REVIEW AREA		
BUILDING LINE		
BUILDING OVERHANG		
BUILDING DOOR		
CURB LINE		
FLUSH CURB LINE		
TRAFFIC SIGN		
TRAFFIC SIGN DESIGNATION		
HEAVY DUTY PAVEMENT		
CONCRETE		
EXISTING CONCRETE TO REMAIN		
REINFORCED TURF		
LANDSCAPE AREA		LA

SIGN LEGEND

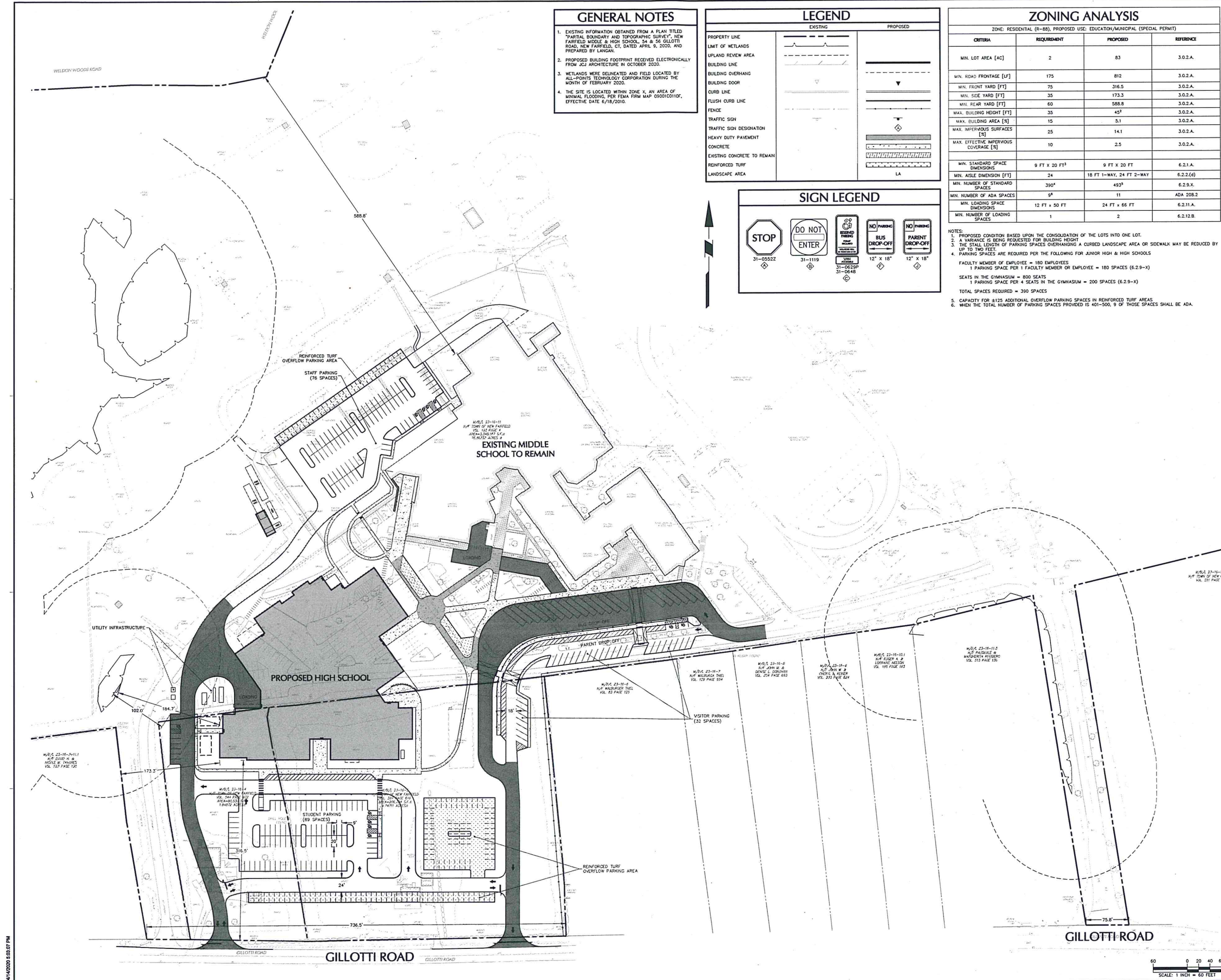


ZONING ANALYSIS

ZONE: RESIDENTIAL (R-88), PROPOSED USE: EDUCATION/MUNICIPAL (SPECIAL PERMIT)

CRITERIA	REQUIREMENT	PROPOSED	REFERENCE
MIN. LOT AREA [AC]	2	83	3.0.2.A.
MIN. ROAD FRONTAGE [LF]	175	812	3.0.2.A.
MIN. FRONT YARD [FT]	75	316.5	3.0.2.A.
MIN. SIDE YARD [FT]	35	173.3	3.0.2.A.
MIN. REAR YARD [FT]	60	588.8	3.0.2.A.
MAX. BUILDING HEIGHT [FT]	35	45'	3.0.2.A.
MAX. BUILDING AREA [%]	15	5.1	3.0.2.A.
MAX. IMPERVIOUS SURFACES [%]	25	14.1	3.0.2.A.
MAX. EFFECTIVE IMPERVIOUS COVERAGE [%]	10	2.5	3.0.2.A.
MIN. STANDARD SPACE DIMENSIONS	9 FT X 20 FT ²	9 FT X 20 FT	6.2.1.A.
MIN. AISLE DIMENSION [FT]	24	18 FT 1-WAY, 24 FT 2-WAY	6.2.2.(d)
MIN. NUMBER OF STANDARD SPACES	390*	493*	6.2.9.X.
MIN. NUMBER OF ADA SPACES	9*	11	ADA 208.2
MIN. LOADING SPACE DIMENSIONS	12 FT X 50 FT	24 FT X 66 FT	6.2.11.A.
MIN. NUMBER OF LOADING SPACES	1	2	6.2.12.B.

- NOTES:
- PROPOSED CONDITION BASED UPON THE CONSOLIDATION OF THE LOTS INTO ONE LOT.
 - A VARIANCE IS BEING REQUESTED FOR BUILDING HEIGHT.
 - THE STALL LENGTH OF PARKING SPACES OVERHANGING A CURBED LANDSCAPE AREA OR SIDEWALK MAY BE REDUCED BY UP TO TWO FEET.
 - PARKING SPACES ARE REQUIRED PER THE FOLLOWING FOR JUNIOR HIGH & HIGH SCHOOLS:
 FACULTY MEMBER OF EMPLOYEE = 180 EMPLOYEES
 1 PARKING SPACE PER 1 FACULTY MEMBER OR EMPLOYEE = 180 SPACES (6.2.9-X)
 SEATS IN THE GYMNASIUM = 800 SEATS
 1 PARKING SPACE PER 4 SEATS IN THE GYMNASIUM = 200 SPACES (6.2.9-X)
 TOTAL SPACES REQUIRED = 390 SPACES
 - CAPACITY FOR 2125 ADDITIONAL OVERFLOW PARKING SPACES IN REINFORCED TURF AREAS.
 - WHEN THE TOTAL NUMBER OF PARKING SPACES PROVIDED IS 401-500, 9 OF THOSE SPACES SHALL BE ADA.



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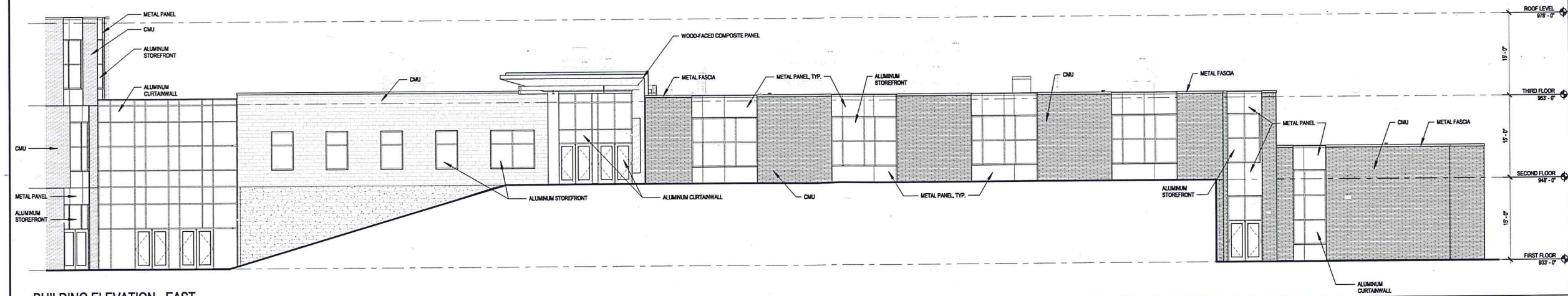
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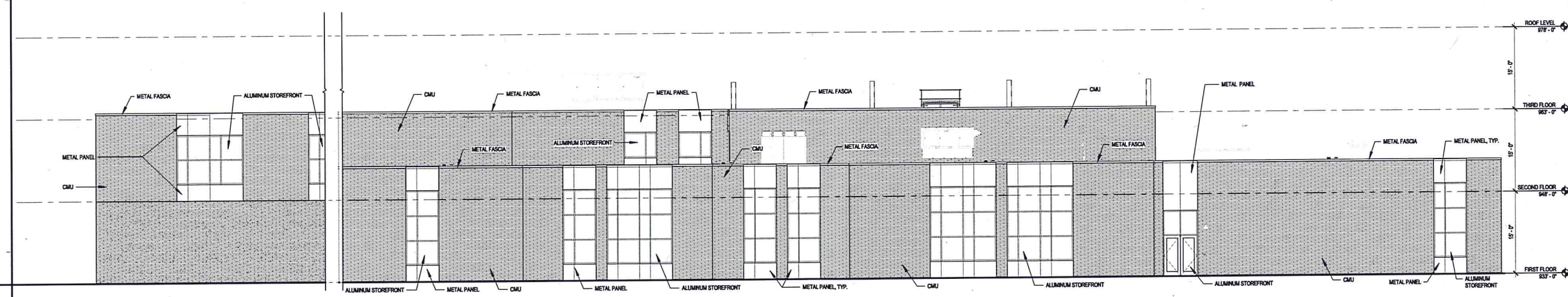


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PM [CC]	DTL [LE]
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JOB	H19078.00
DRAWN	Author
SCALE	1/8" = 1'-0"
REVISIONS	

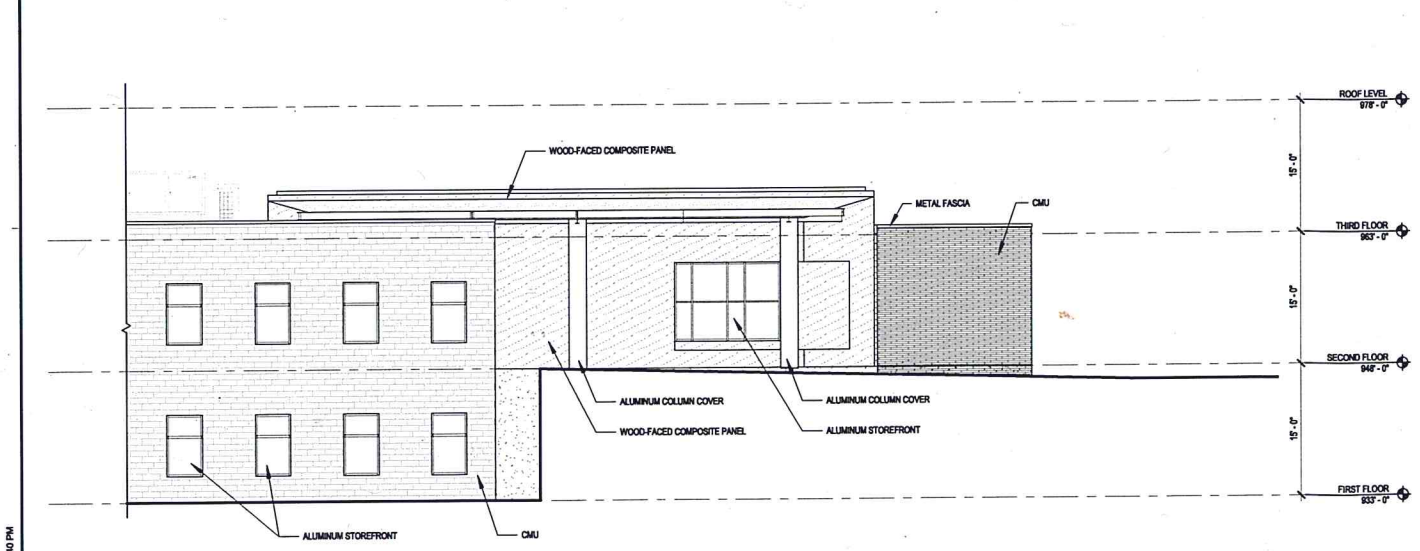
BUILDING ELEVATIONS



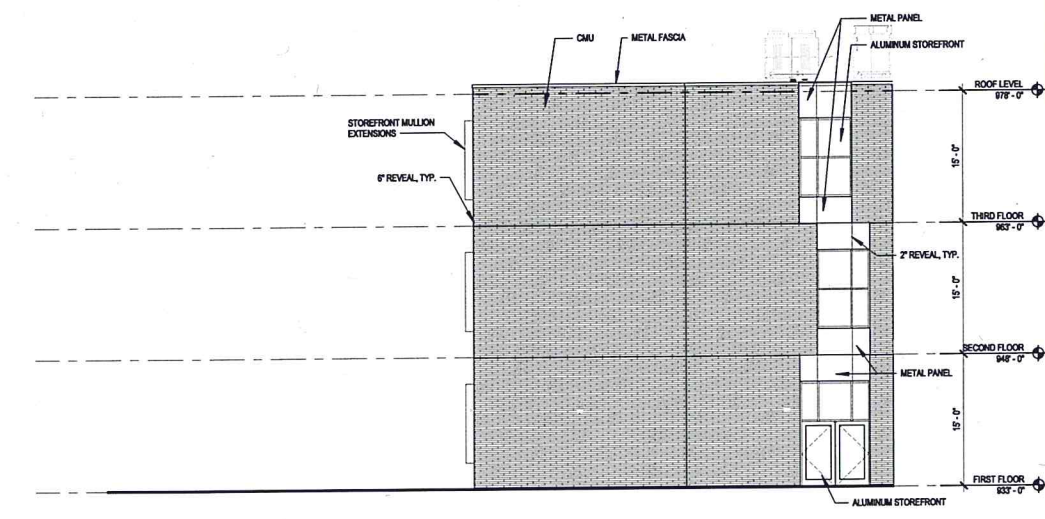
4 BUILDING ELEVATION - EAST
1/8" = 1'-0"



3 BUILDING ELEVATION - NORTH
1/8" = 1'-0"



2 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



1 BUILDING ELEVATION - NORTHEAST
1/8" = 1'-0"

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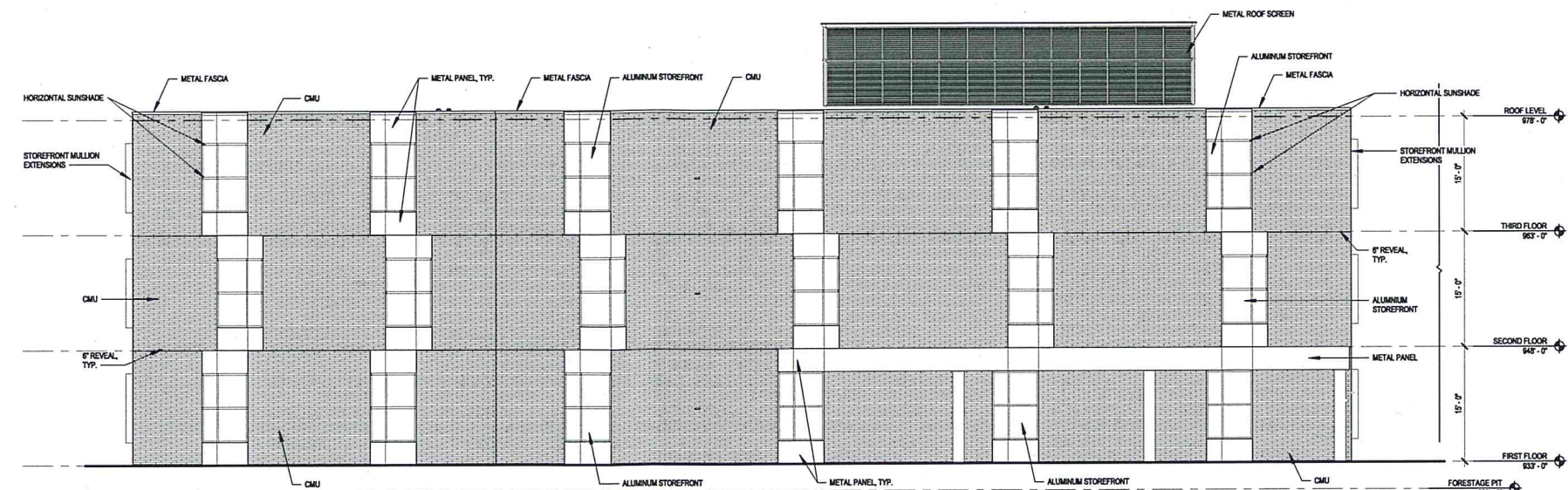
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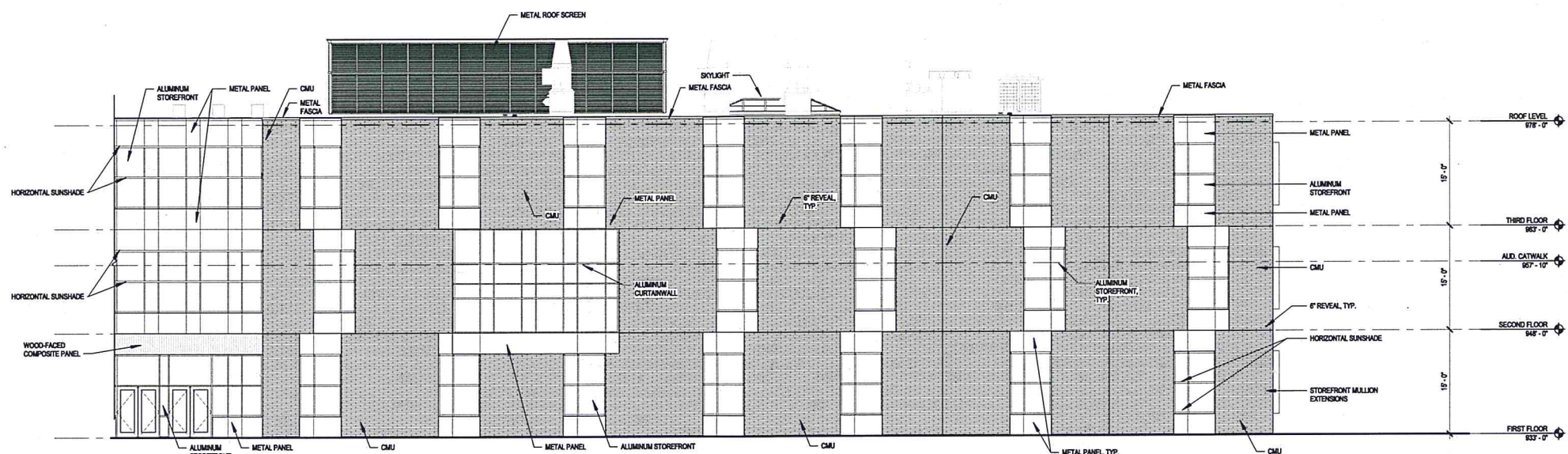
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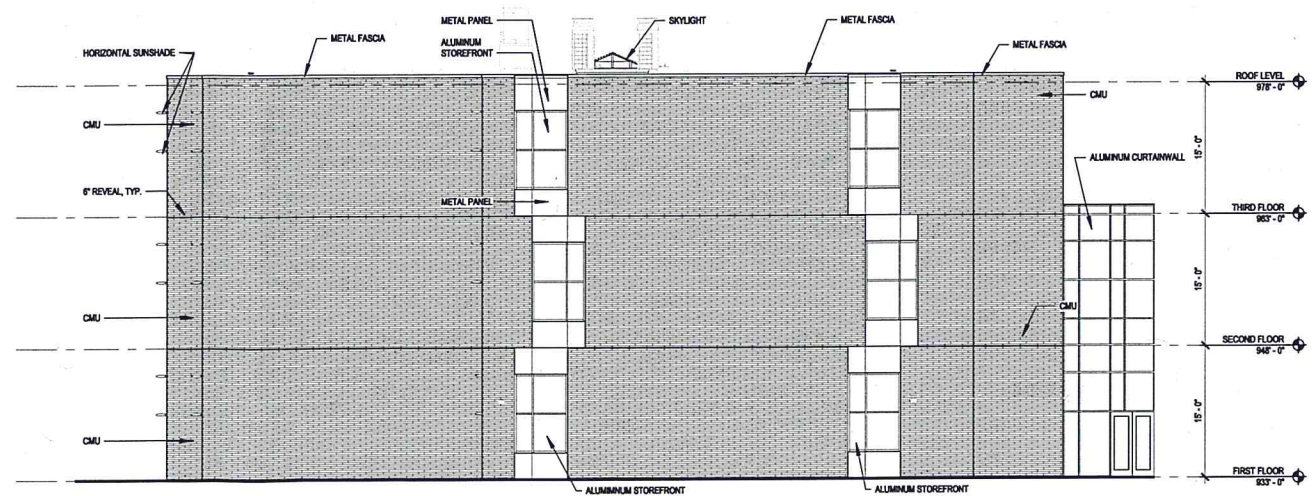
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3 BUILDING ELEVATION - SOUTHWEST CONT.
1/8" = 1'-0"



2 BUILDING ELEVATION - SOUTHWEST
1/8" = 1'-0"



1 BUILDING ELEVATION - SOUTHEAST
1/8" = 1'-0"

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PM [CO]	DTL [AE]
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BUILDING ELEVATIONS

A-5

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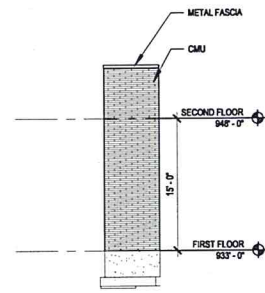
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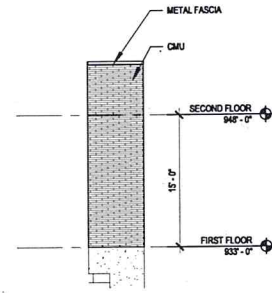
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PM [CO] _____ DTL [LE] _____

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JOB H19078.00
DRAWN Author
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REVISIONS

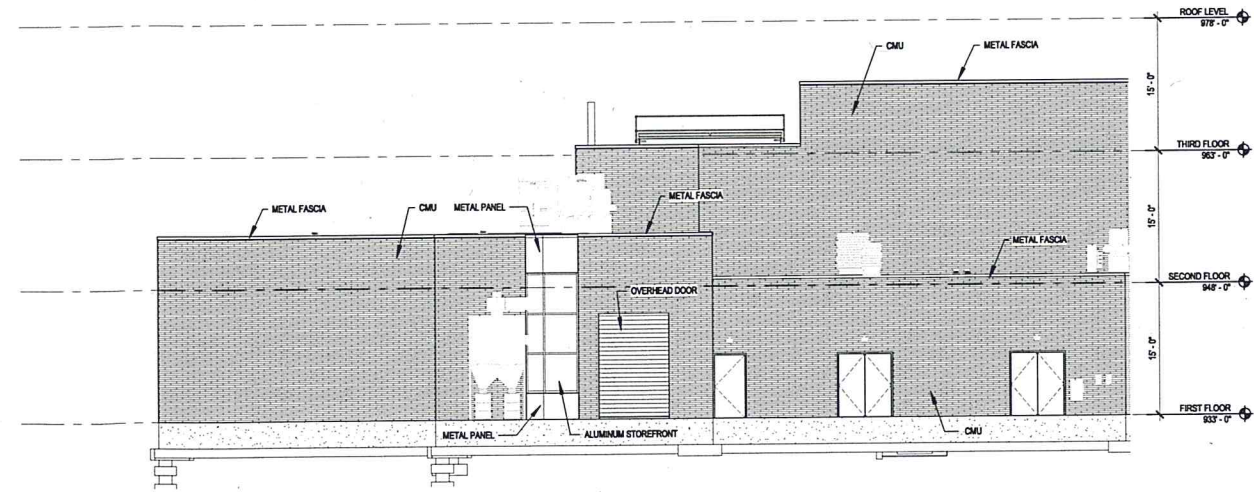
BUILDING ELEVATIONS



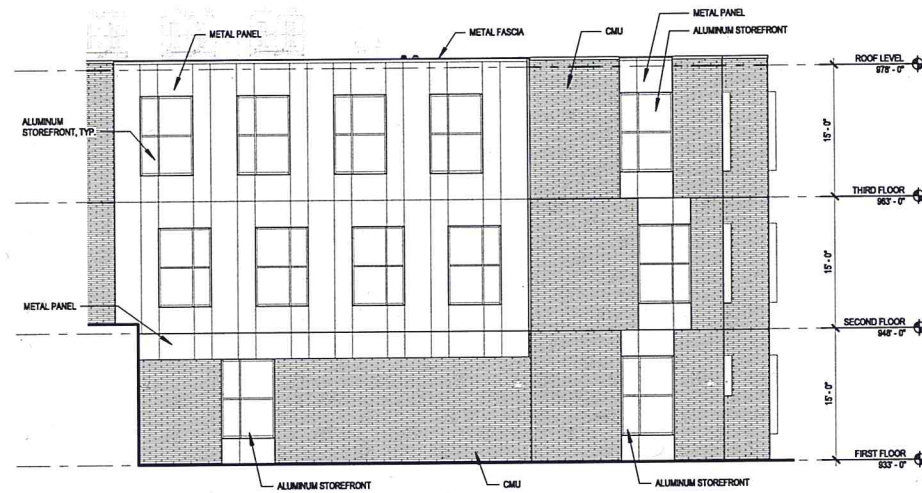
7 BUILDING ELEVATION WEST
1/8" = 1'-0"



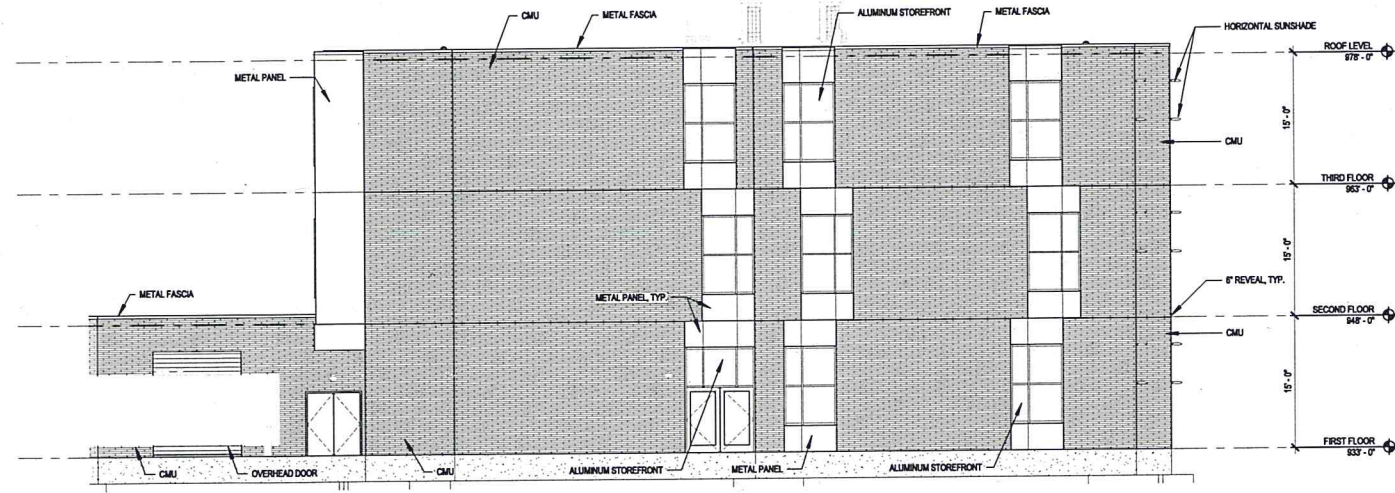
6 BUILDING ELEVATION EAST
1/8" = 1'-0"



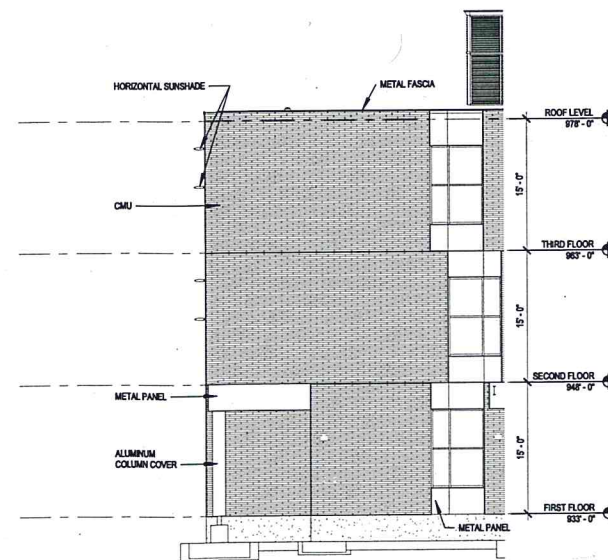
5 BUILDING ELEVATION - WEST
1/8" = 1'-0"



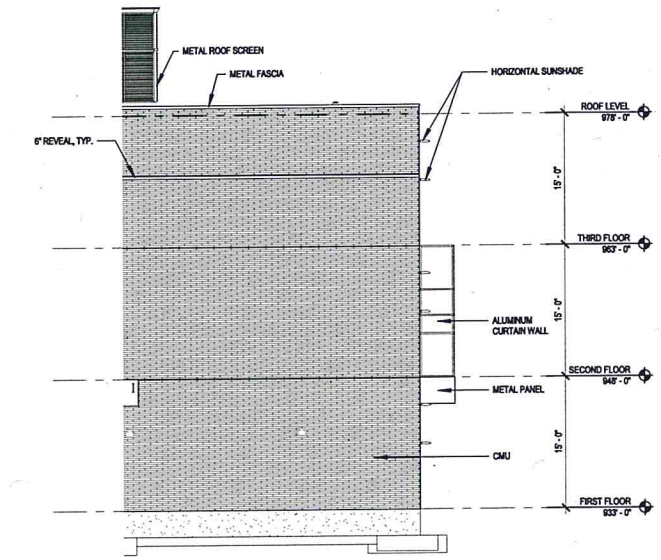
4 BUILDING ELEVATION - NORTHEAST
1/8" = 1'-0"



3 BUILDING ELEVATION NORTHWEST
1/8" = 1'-0"



2 BUILDING ELEVATION - SOUTHEAST
1/8" = 1'-0"



1 BUILDING ELEVATION - NORTHWEST
1/8" = 1'-0"

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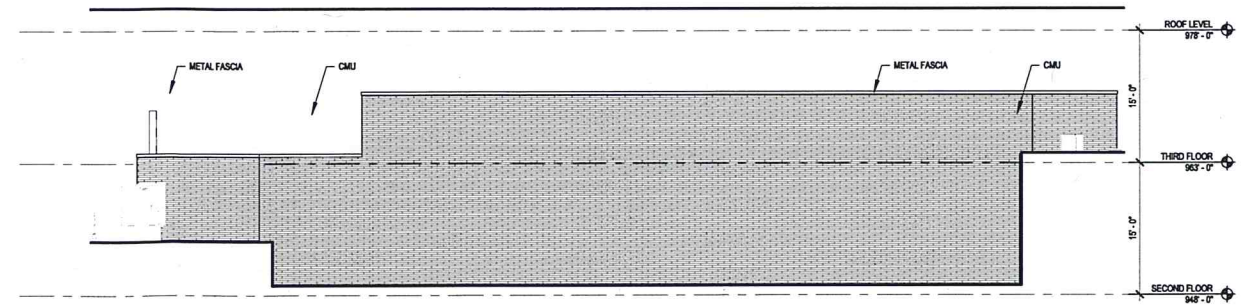
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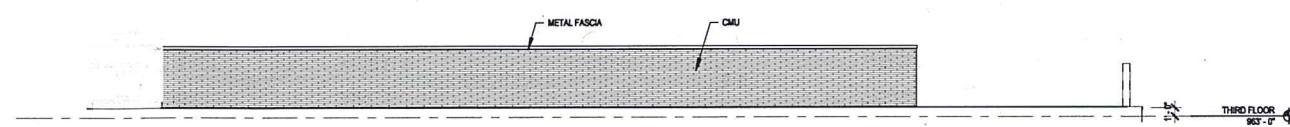
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BUILDING ELEVATIONS

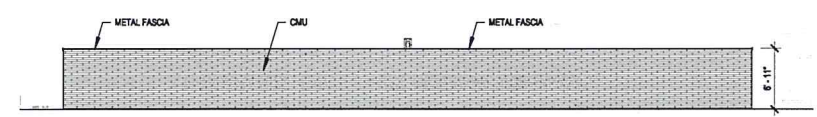
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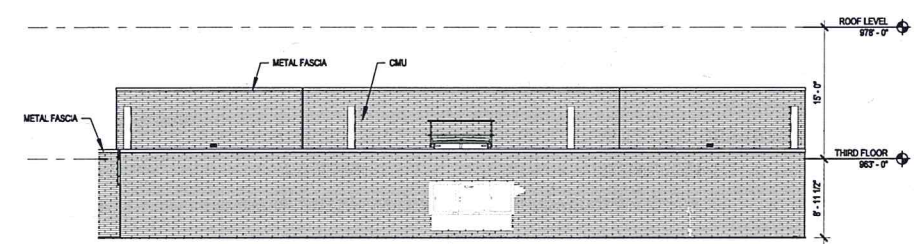
7 BUILDING ELEVATION - WEST AUDITORIUM
1/8" = 1'-0"



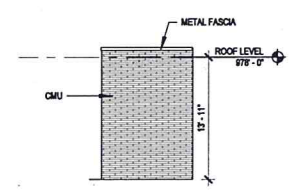
5 BUILDING ELEVATION - EAST
1/8" = 1'-0"



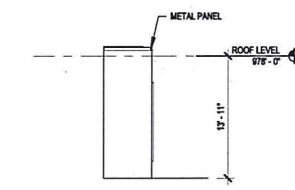
6 BUILDING ELEVATION - SOUTH AUDITORIUM
1/8" = 1'-0"



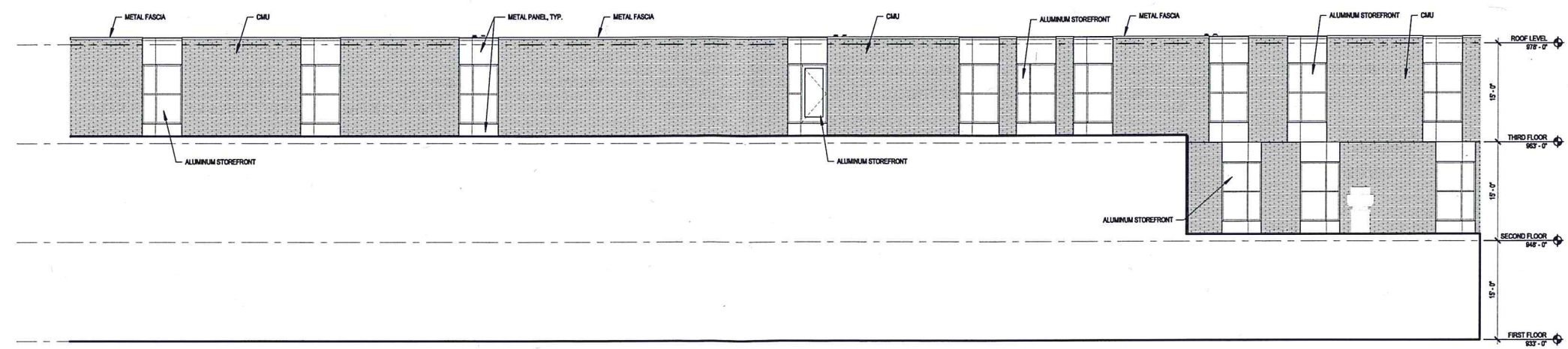
4 BUILDING ELEVATION - NORTH AUDITORIUM
1/8" = 1'-0"



3 BUILDING ELEVATION - NORTHWEST
1/8" = 1'-0"



2 BUILDING ELEVATION - SOUTHEAST
1/8" = 1'-0"



1 BUILDING ELEVATION - NORTHEAST ELEVATION
1/8" = 1'-0"

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**NEW FAIRFIELD
MIDDLE SCHOOL**

STREET
CITY, STATE ZIP CODE

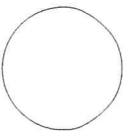
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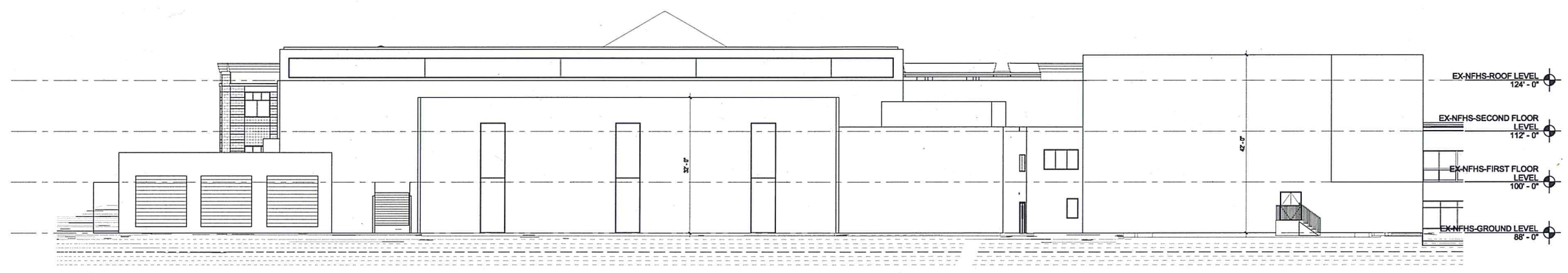
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PM [WHO]	DTL [WHO]
ISSUE	ISSUE DATE
JOB	JCJ PROJECT NUMBER
DRAWN	Author
SCALE	3/32" = 1'-0"
REVISIONS	

EXISTING BUILDING
EXTERIOR ELEVATIONS

AM-1



2 PARTIAL NORTH ELEVATION 2
3/32" = 1'-0"



1 PARTIAL NORTH ELEVATION 1
3/32" = 1'-0"

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**NEW FAIRFIELD
MIDDLE SCHOOL**

STREET
CITY, STATE ZIP CODE

STATE PROJECT NUMBER (if not required)

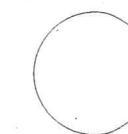
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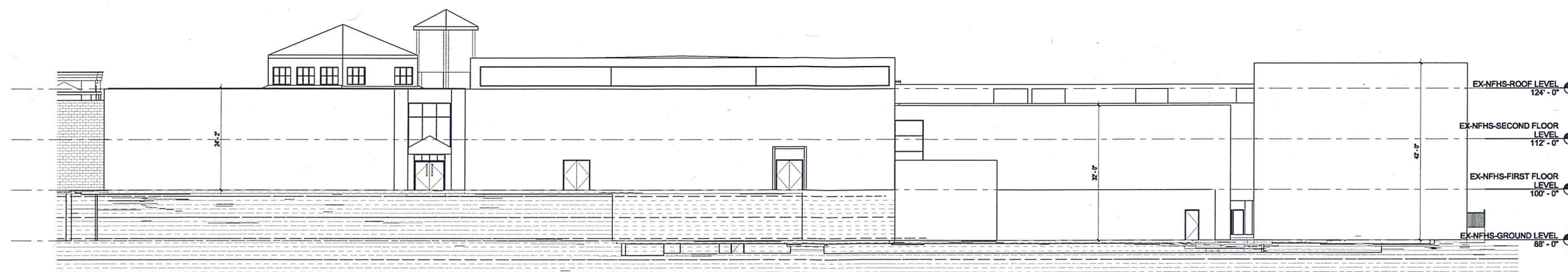
ISSUE	ISSUE DATE
JOB	JCJ PROJECT NUMBER
DRAWN	Author
SCALE	3/32" = 1'-0"
REVISIONS	

EXISTING BUILDING
EXTERIOR ELEVATIONS

AM-2



2 PARTIAL EAST ELEVATION 2
3/32" = 1'-0"



1 PARTIAL EAST ELEVATION 1
3/32" = 1'-0"

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**NEW FAIRFIELD
MIDDLE SCHOOL**

STREET
CITY, STATE ZIP CODE

STATE PROJECT NUMBER (if not required)

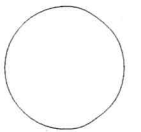
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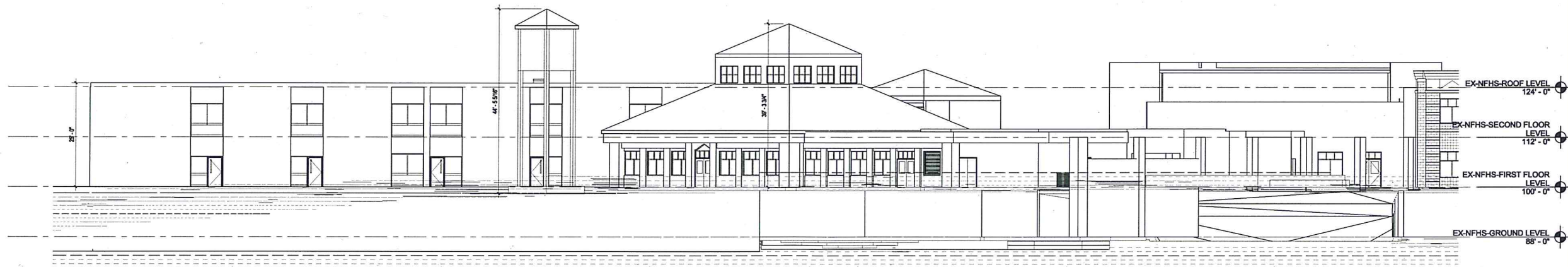


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PM [WHO] DTL [WHO]

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JOB JCJ PROJECT NUMBER
DRAWN Author
SCALE 3/32" = 1'-0"
REVISIONS

EXISTING BUILDING
EXTERIOR ELEVATIONS

AM-3



2 PARTIAL SOUTH ELEVATION 2
3/32" = 1'-0"



1 PARTIAL SOUTH ELEVATION 1
3/32" = 1'-0"

**NEW FAIRFIELD
MIDDLE SCHOOL**

STREET
CITY, STATE ZIP CODE

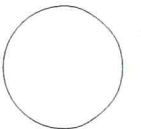
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JOB _____ JCJ PROJECT NUMBER _____
DRAWN _____ Author _____
SCALE 3/32" = 1'-0"
REVISIONS _____

EXISTING BUILDING
EXTERIOR ELEVATIONS

AM-4



2 PARTIAL WEST ELEVATION 2
3/32" = 1'-0"



1 PARTIAL WEST ELEVATION 1
3/32" = 1'-0"