

LEGEND	
	HANDICAPPED ACCESSIBLE PARKING SPACE
	PROP. TRAFFIC PATTERN
	PARKING SPACE COUNT
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	WETLAND FLAG
	PROPOSED CATCH BASIN
	PROPOSED 6" ASPHALT CURBING
	PROPOSED 6" CONCRETE CURBING

21 BRUSH HILL ROAD (M/B/L 23/2/1)			1 MARGERIE DRIVE (M/B/L 24/13/1-15)		
ZONING INFORMATION TABLE			ZONING INFORMATION TABLE		
ZONE: R-44 USE: PLACE OF WORSHIP (SPECIAL PERMIT SEC. 3.1.2.B)			ZONE: R-44 USE: EXISTING PARKING LOT SERVING PLACE OF WORSHIP		
ZONE CRITERIA	REQUIRED	PROPOSED	ZONE CRITERIA	REQUIRED	PROPOSED
MIN. LOT AREA (AC)	1.0	5.37	MIN. LOT AREA (AC)	1.0	1.95
MIN. LOT FRONTAGE (FT.)	125	> 125	MIN. LOT FRONTAGE (FT.)	125	> 125
MIN. FRONT YARD (FT.)	40	41.1	MIN. FRONT YARD (FT.)	40	N/A
MIN. SIDE YARD (FT.)	20	~ 500	MIN. SIDE YARD (FT.)	20	N/A
MIN. REAR YARD (FT.)	50	N/A	MIN. REAR YARD (FT.)	50	N/A
MAX. BLDG. HEIGHT (FT.)	35	EXIST.	MAX. BLDG. HEIGHT (FT.)	35	N/A
MAX. BLDG. AREA (%)	20	10.3	MAX. BLDG. AREA (%)	20	N/A
MAX. IMPERVIOUS SURFACES (%)	25	45.0*	MAX. IMPERVIOUS SURFACES (%)	25	21.5
MAX. EFFECTIVE IMPERVIOUS COVERAGE (%)	10	8.3	MAX. EFFECTIVE IMPERVIOUS COVERAGE (%)	10	0

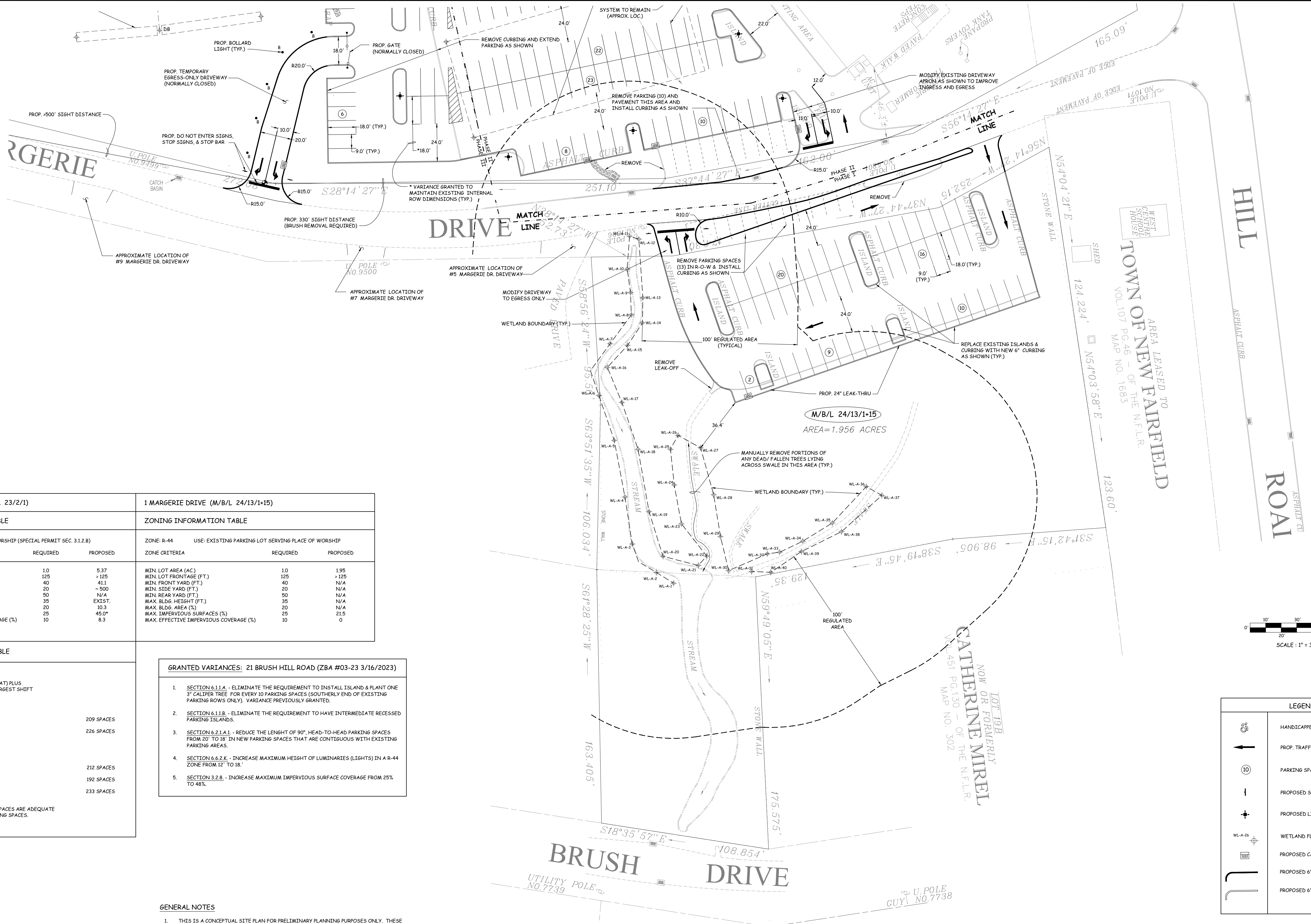
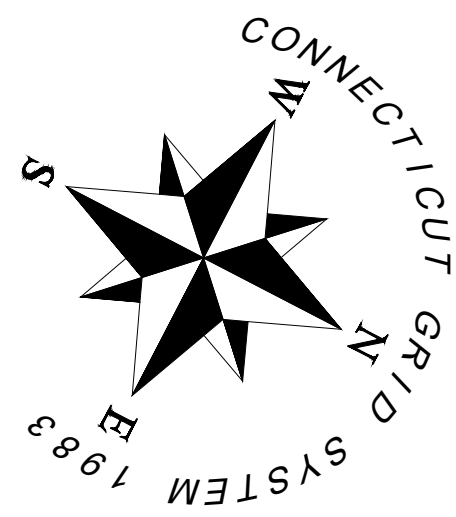
PARKING INFORMATION TABLE	
CHURCH (PLACE OF WORSHIP)	
1 SPACE PER 4 SEATS (24" PER SEAT) PLUS 1 SPACE PER 2 EMPLOYEES ON LARGEST SHELF	
800 SEATS = 200 SPACES PLUS 18 EMPLOYEES = 9 SPACES	
1) TOTAL REQUIRED PARKING	209 SPACES
2) TOTAL EXISTING PARKING (INCLUDING 10 HANDICAPPED)	226 SPACES
3) TOTAL PROVIDED PARKING (INCLUDING 10 HANDICAPPED)	
PHASE I	212 SPACES
PHASE II	192 SPACES
PHASE III	233 SPACES

GRANTED VARIANCES: 21 BRUSH HILL ROAD (ZBA #03-23 3/16/2023)	
1.	SECTION 6.1.1.A - ELIMINATE THE REQUIREMENT TO INSTALL ISLAND & PLANT ONE 3" CALIBER TREE FOR EVERY 10 PARKING SPACES (SOUTHERLY END OF EXISTING PARKING ROWS ONLY). VARIANCE PREVIOUSLY GRANTED.
2.	SECTION 6.1.1.B - ELIMINATE THE REQUIREMENT TO HAVE INTERMEDIATE RECESSED PARKING ISLANDS.
3.	SECTION 6.2.1.A.1 - REDUCE THE LENGTH OF 90" HEAD-TO-HEAD PARKING SPACES FROM 20' TO 18" IN NEW PARKING SPACES THAT ARE CONTIGUOUS WITH EXISTING PARKING AREAS.
4.	SECTION 6.6.2.K - INCREASE MAXIMUM HEIGHT OF LUMINAIRES (LIGHTS) IN A R-44 ZONE FROM 12' TO 18'.
5.	SECTION 3.2.8 - INCREASE MAXIMUM IMPERVIOUS SURFACE COVERAGE FROM 25% TO 48%.

- GENERAL NOTES**
- THIS IS A CONCEPTUAL SITE PLAN FOR PRELIMINARY PLANNING PURPOSES ONLY. THESE DRAWINGS ARE NOT INTENDED FOR LAND USE APPROVALS OR CONSTRUCTION. ADDITIONAL INFORMATION, DRAWINGS, DETAILS, AND SPECIFICATIONS WILL BE REQUIRED PRIOR TO THE START OF THE LAND USE APPROVAL AND/OR CONSTRUCTION PROCESS.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM HISTORICAL ELECTRONIC FILES PROVIDED BY PAUL HIRO, L.S. AND DIDONA ASSOCIATES.
 - ALL NEW SITE LIGHTING IS TO CONFORM TO SECTIONS 6.6 AND 9.1 OF THE TOWN OF NEW FAIRFIELD ZONING REGULATIONS (EXCEPT FOR HEIGHT - VARIANCE REQUIRED).
 - ALL SIGNS ARE TO CONFORM TO SECTION 6.3 OF THE TOWN OF NEW FAIRFIELD ZONING REGULATIONS.
 - ALL WORK WITHIN THE TOWN ROAD RIGHT-OF-WAY IS TO BE APPROVED BY THE TOWN OF NEW FAIRFIELD.
 - ALL WORK WITHIN THE STATE ROAD RIGHT-OF-WAY IS TO BE APPROVED BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.
 - WETLAND FLAGS LOCATED BY PAUL J. JAEHNING, WETLANDS AND SOIL CONSULTING, RIDGEBFIELD, CT., JUNE 22, 2017. FLAGS SCANNED AND OVERLAIN ON SURVEY.



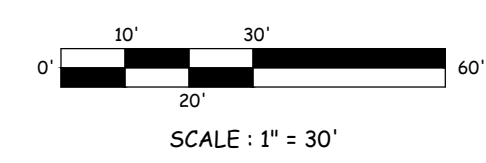
REVISIONS		ST. EDWARD THE CONFESSOR CHURCH 21 BRUSH HILL RD. (RTE. 39) & 1 MARGERIE DR. NEW FAIRFIELD, CONNECTICUT	
		SCALE: 1" = 30'	DRAWN BY: bvd
		DATE: March 1, 2024	APPROVED BY: bvd
		PARKING & STORM WATER IMPROVEMENT PLAN	
		Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810	DRAWING NUMBER: C01
# 211			



21 BRUSH HILL ROAD (M/B/L 23/2/1)			1 MARGERIE DRIVE (M/B/L 24/13/1+15)		
ZONING INFORMATION TABLE			ZONING INFORMATION TABLE		
ZONE: R-44	USE: PLACE OF WORSHIP (SPECIAL PERMIT SEC. 3.1.2.B)		ZONE: R-44	USE: EXISTING PARKING LOT SERVING PLACE OF WORSHIP	
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NOTE: 10 HANDICAPPED PARKING SPACES ARE ADEQUATE FOR UP TO 500 TOTAL PARKING SPACES.					

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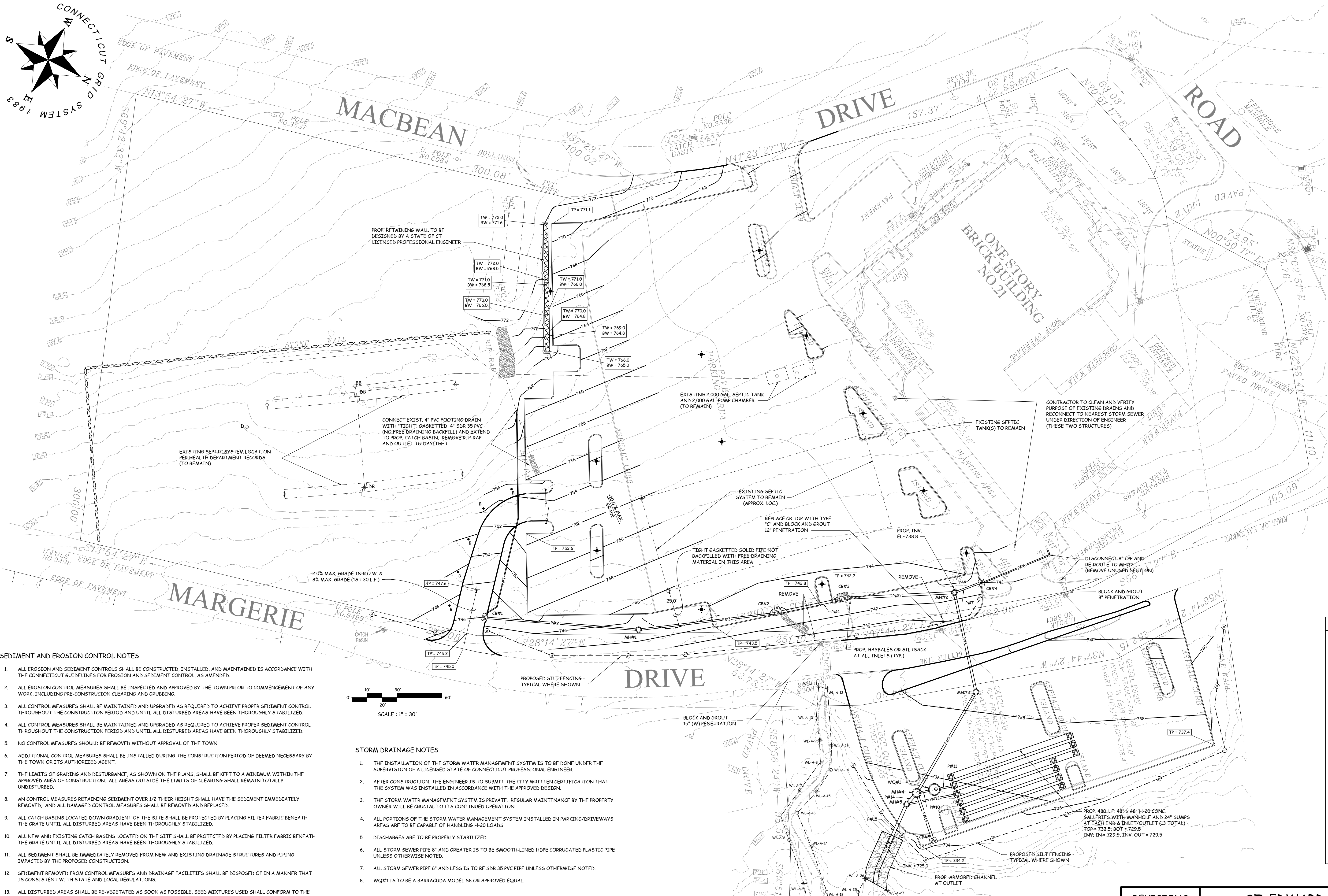
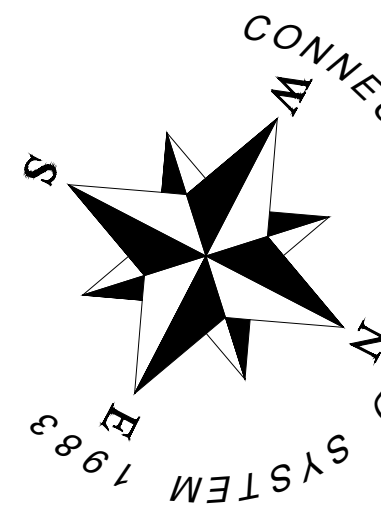
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REVISIONS		ST. EDWARD THE CONFESSOR CHURCH 21 BRUSH HILL RD. (RTE. 39) & 1 MARGERIE DR. NEW FAIRFIELD, CONNECTICUT	
		SCALE: 1" = 30'	DRAWN BY: bvd
		DATE: March 1, 2024	APPROVED BY: bvd
PARKING & STORM WATER IMPROVEMENT PLAN			
Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810		DRAWING NUMBER: C01.1	
# 211			



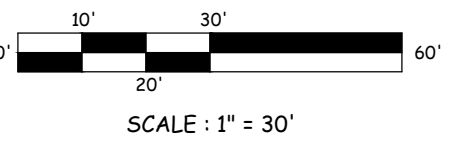


STRUCTURE TABLE			
I.D.**	T.F.	INV. IN	INV. OUT
CB#1	746.0	743.0	742.0
MH#1	745.0	739.7	739.6
CB#2	741.8	737.8	737.6
CB#3	742.0	736.8	736.7
MH#2*	742.9	738.8 (w) 735.9 (s)	734.0
CB#4	742.0	737.0	736.9
MH#3	738.5	732.7	732.6
MH#4	397.7	391.7	391.6
MH#5	397.4	392.7	392.6
MH#6	735.4	731.0 (w) 731.2 (s)	730.0 (w) 731.0 (s)
WQ#1	735.6	729.8	729.8
CB#5	734.0	--	731.5

* MH#2 EQUALS 6.0' DIA. ALL OTHERS EQUAL 4.0' DIA.
** ALL CATCH BASINS TO BE TYPE "C" (CURB-TYPE)

PIPING TABLE			
I.D.	DIA. (IN)	LENGTH (FT)	SLOPE (%)
PH1	4	142	-10.0
PH2	12	100	2.3
PH3	12	90	2.0
PH4	15	40	2.0
PH5	15	70	2.4
PH6	8	53	-2.0
PH7	12	16	2.5
PH8	18	64	2.0
PH9	18	74	2.2
PH10	12	6	3.3
PH11	12	8	3.8
PH12	12	30	1.0
PH13	12	30	1.0
PH14	24	6	3.3
PH15	24	30	0.6

- SEDIMENT AND EROSION CONTROL NOTES**
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL, AS AMENDED.
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE TOWN PRIOR TO COMMENCEMENT OF ANY WORK, INCLUDING PRE-CONSTRUCTION CLEARING AND GRUBBING.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
 - NO CONTROL MEASURES SHOULD BE REMOVED WITHOUT APPROVAL OF THE TOWN.
 - ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD OF DEEMED NECESSARY BY THE TOWN OR ITS AUTHORIZED AGENT.
 - THE LIMITS OF GRADING AND DISTURBANCE, AS SHOWN ON THE PLANS, SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF CLEARING SHALL REMAIN TOTALLY UNDISTURBED.
 - ANY CONTROL MEASURES RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT IMMEDIATELY REMOVED, AND ALL DAMAGED CONTROL MEASURES SHALL BE REMOVED AND REPLACED.
 - ALL CATCH BASINS LOCATED DOWN GRADIENT OF THE SITE SHALL BE PROTECTED BY PLACING FILTER FABRIC BENEATH THE GRATE UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
 - ALL NEW AND EXISTING CATCH BASINS LOCATED ON THE SITE SHALL BE PROTECTED BY PLACING FILTER FABRIC BENEATH THE GRATE UNTIL ALL DISTURBED AREAS HAVE BEEN THOROUGHLY STABILIZED.
 - ALL SEDIMENT SHALL BE IMMEDIATELY REMOVED FROM NEW AND EXISTING DRAINAGE STRUCTURES AND PIPING IMPACTED BY THE PROPOSED CONSTRUCTION.
 - SEDIMENT REMOVED FROM CONTROL MEASURES AND DRAINAGE FACILITIES SHALL BE DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH STATE AND LOCAL REGULATIONS.
 - ALL DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS POSSIBLE. SEED MIXTURES USED SHALL CONFORM TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AS AMENDED.
 - THE PLANTING SEASONS FOR THE SPECIFIED SEED MIXTURE SHALL BE AS DEFINED IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, AS AMENDED, UNLESS DIRECTED OTHERWISE BY THE TOWN. OUTSIDE OF THESE SPECIFIED DATES, AREAS WILL BE STABILIZED WITH HAY BALE CHECK DAMS, FILTER FABRIC, OR WOOD CHIP MULCH AS REQUIRED TO CONTROL EROSION.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO ENSURE THAT NO DRAINAGE FROM CITY ROADS ENTER THE SITE DURING OR AFTER CONSTRUCTION UNLESS IT IS CALLED FOR IN THE DESIGN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. THE CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
 - TEMPORARY STOCKPILING OF CONSTRUCTION MATERIALS SHALL ONLY BE ALLOWED IN THE LOCATION SHOWN ON THE PLANS. STOCKPILE AREAS SHALL BE FULLY ENCLOSED BY A SILT FENCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENTATION CONTROL PLAN. THIS INCLUDES THE INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE TOWN OF ANY TRANSFER OF THIS RESPONSIBILITY.



- STORM DRAINAGE NOTES**
- THE INSTALLATION OF THE STORM WATER MANAGEMENT SYSTEM IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED STATE OF CONNECTICUT PROFESSIONAL ENGINEER.
 - AFTER CONSTRUCTION, THE ENGINEER IS TO SUBMIT THE CITY WRITTEN CERTIFICATION THAT THE SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN.
 - THE STORM WATER MANAGEMENT SYSTEM IS PRIVATE. REGULAR MAINTENANCE BY THE PROPERTY OWNER WILL BE CRUCIAL TO ITS CONTINUED OPERATION.
 - ALL PORTIONS OF THE STORM WATER MANAGEMENT SYSTEM INSTALLED IN PARKING/DRIVEWAYS AREAS ARE TO BE CAPABLE OF HANDLING H-20 LOADS.
 - DISCHARGES ARE TO BE PROPERLY STABILIZED.
 - ALL STORM SEWER PIPE 8" AND GREATER IS TO BE SMOOTH-LINED HDPE CORRUGATED PLASTIC PIPE UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER PIPE 6" AND LESS IS TO BE SDR 35 PVC PIPE UNLESS OTHERWISE NOTED.
 - WQ#1 IS TO BE A BARRACUDA MODEL S8 OR APPROVED EQUAL.

- GRADING NOTES**
- CONSTRUCTION AND / OR GRADING RIGHTS FROM ADJACENT PROPERTY OWNERS ARE TO BE ACQUIRED IF WARRANTED.
 - RETAINING WALLS GREATER THAN THREE (3) FEET IN HEIGHT ARE PROPOSED. ANY WALLS GREATER THAN 3' HIGH ARE TO BE DESIGNED BY AND CONSTRUCTED UNDER THE SUPERVISION OF A STATE OF CONNECTICUT LICENSED PROFESSIONAL ENGINEER. NO WOOD RETAINING WALLS ARE TO BE CONSTRUCTED.
 - CARE IS TO BE TAKEN WHEN PAVING TO AVOID PONDING AND PROVIDE POSITIVE DRAINAGE.
 - GRADED OUT AND FILL SLOPES ARE NOT TO EXCEED 2:1:1V WITHOUT BEING EVALUATED AND DESIGNED BY A STATE OF CONNECTICUT LICENSED PROFESSIONAL ENGINEER.
 - ADEQUATE COMPACTION OF FILL IS TO BE PROVIDED.

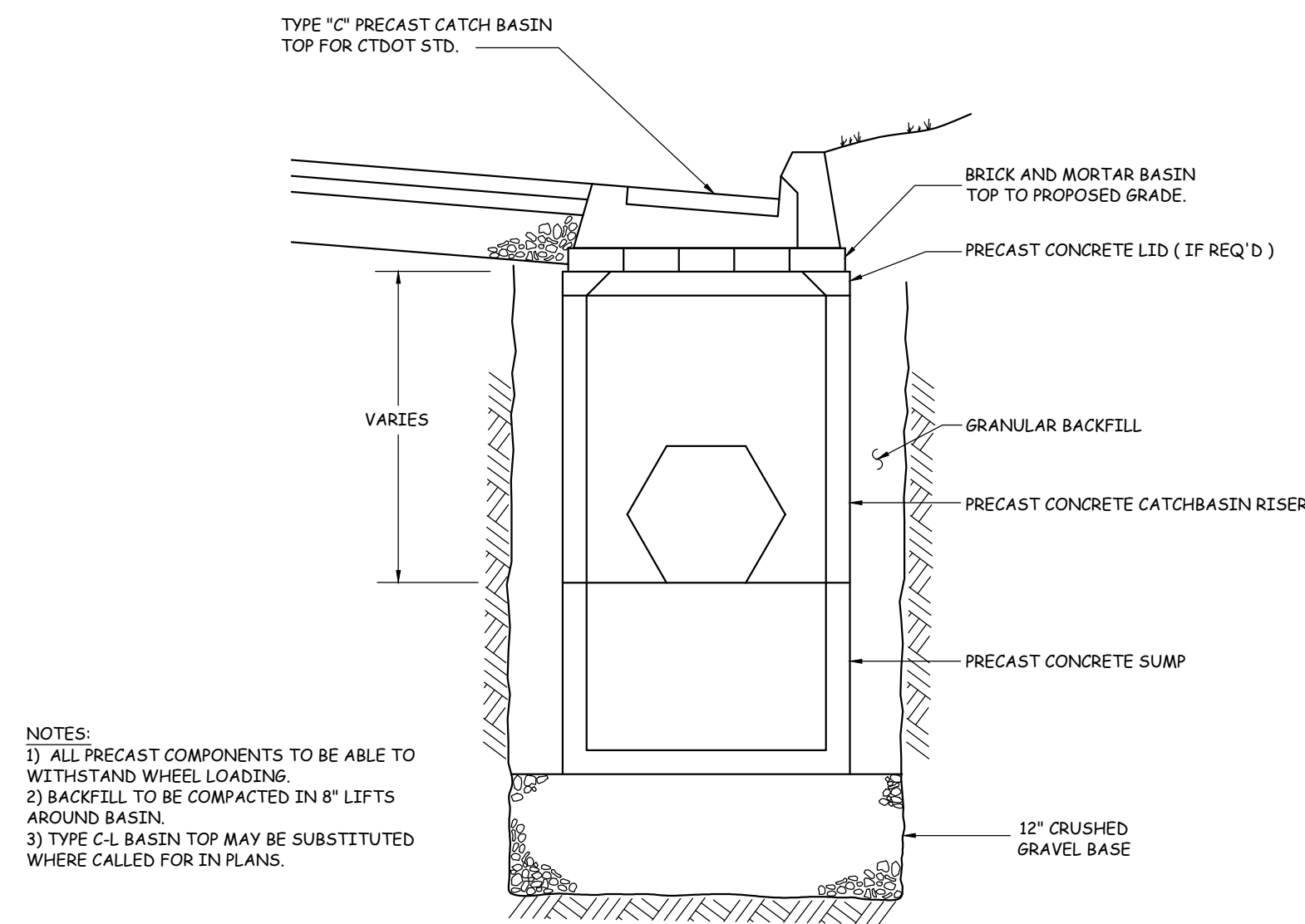
- SEPTIC SYSTEM NOTES**
- NO CHANGES ARE PROPOSED TO THE EXISTING SEPTIC SYSTEM(S).
 - THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN THE VICINITY OF THE EXISTING SEPTIC SYSTEM. ALL PROPOSED UTILITIES ARE TO BE ROUTED AROUND (NOT THROUGH) THE EXISTING SEPTIC SYSTEMS, THEIR FIELDS, AND COMPONENTS.

- WATER (WELL) NOTES**
- THE EXISTING DOMESTIC WELL IS TO REMAIN UNCHANGED.

LEGEND	
	HANDICAPPED ACCESSIBLE PARKING SPACE
	MATCH EXISTING PAVEMENT / WALK
	PROP. TOP OF WALK ELEVATION
	PROP. TOP OF PAVEMENT ELEV.
	EXISTING CONTOUR ELEVATION
	PROPOSED CONTOUR ELEVATION
	PROPOSED SILT FENCING
	PROPOSED HAYBALE
	PROP. TOP & BOT. OF RET. WALL ELEV.
	PROPOSED TYPE "C" CATCH BASIN
	PROPOSED MANHOLE
	WETLAND FLAG LOCATION
	PROPOSED LIGHT POLE

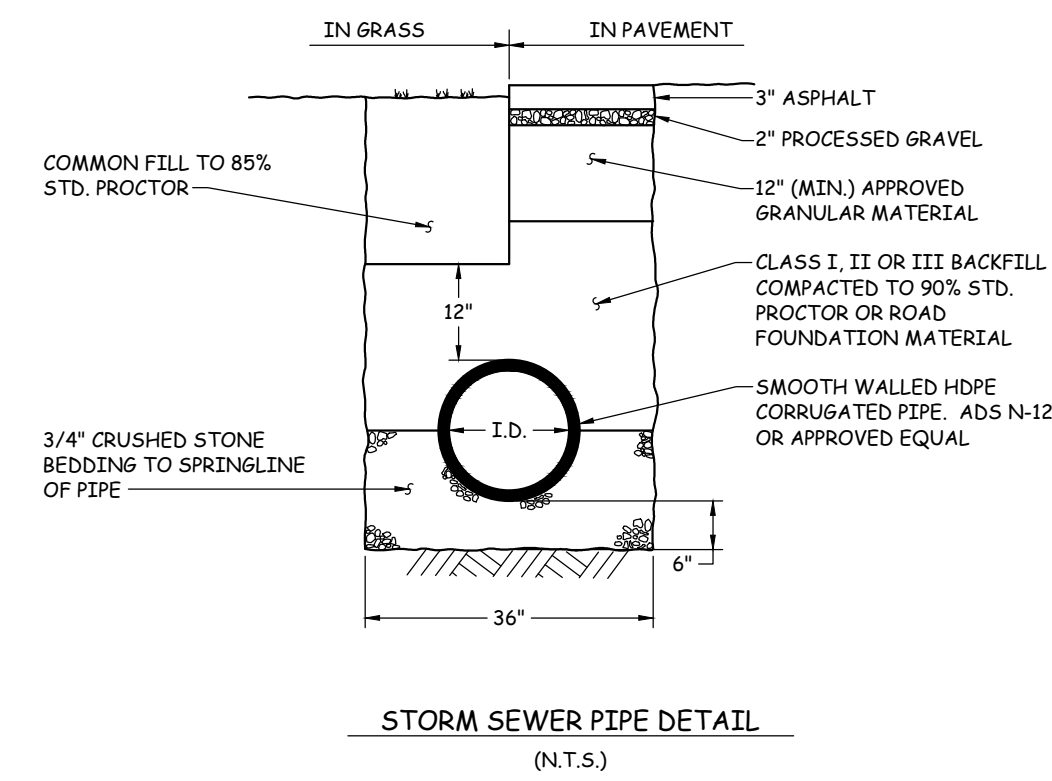
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	SCALE: 1" = 30'	DRAWN BY: bvd
	DATE: March 1, 2024	APPROVED BY: bvd
GRADING & UTILITY PLAN		
# 211	Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810	DRAWING NUMBER: C02



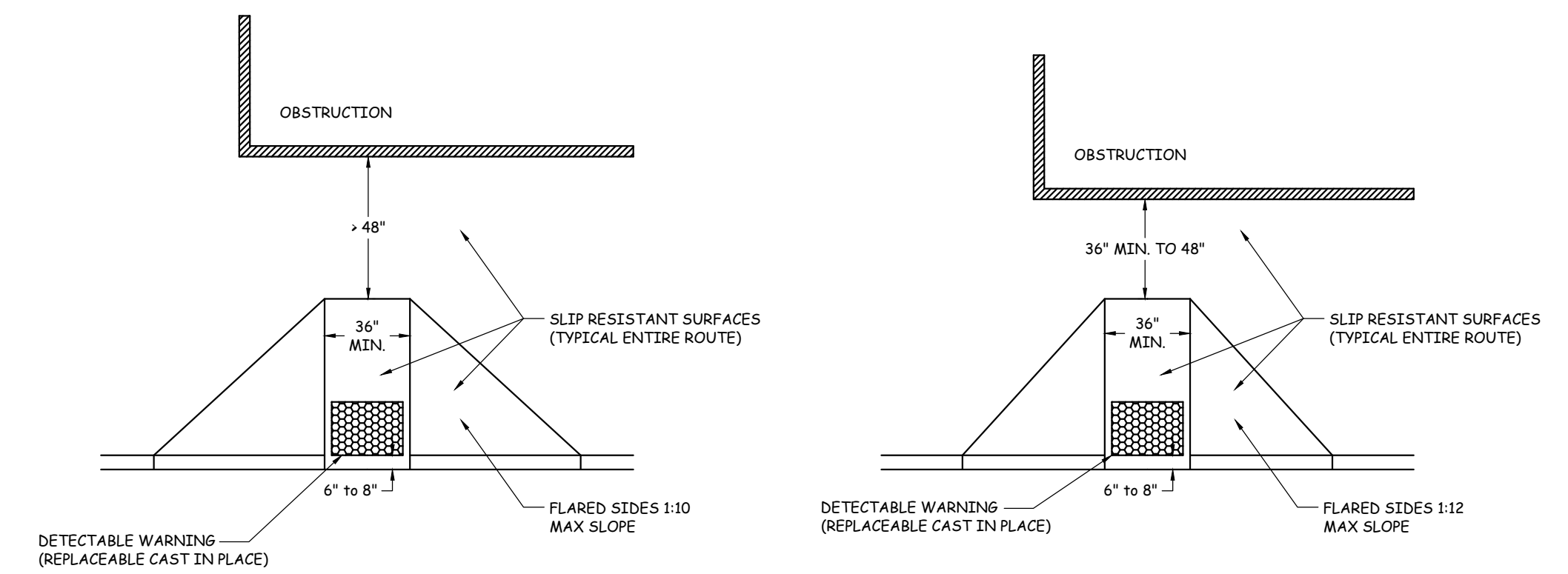
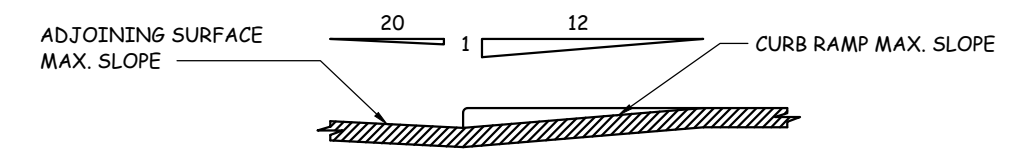


PRECAST CATCH BASIN DETAIL
(N.T.S.)

NOTES:
1) ALL PRECAST COMPONENTS TO BE ABLE TO WITHSTAND WHEEL LOADING.
2) BACKFILL TO BE COMPACTED IN 8" LIFTS AROUND BASIN.
3) TYPE C-L BASIN TOP MAY BE SUBSTITUTED WHERE CALLED FOR IN PLANS.

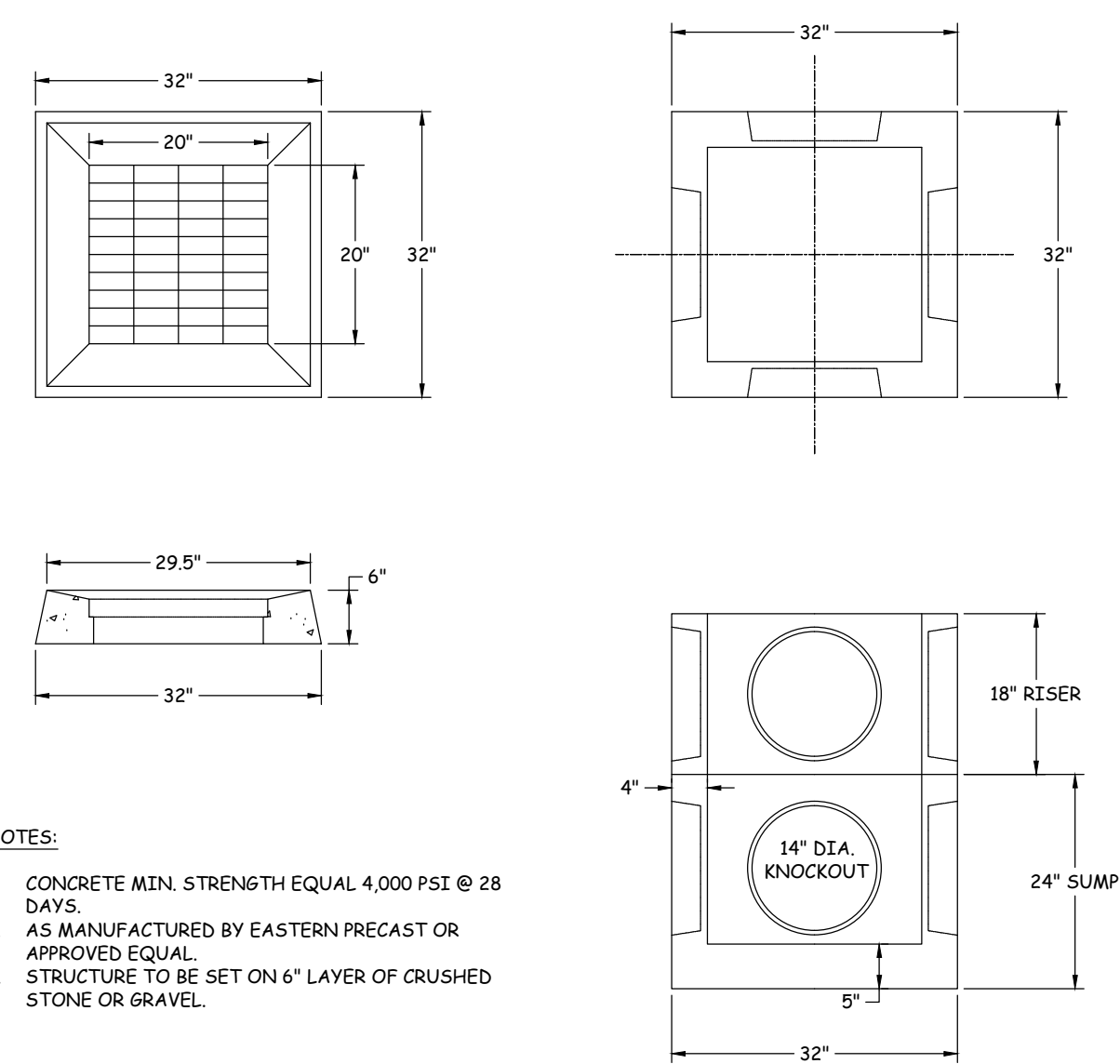


STORM SEWER PIPE DETAIL
(N.T.S.)

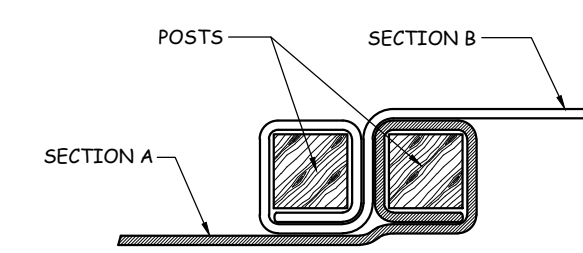


CURB CUT RAMP DETAILS
(N.T.S.)

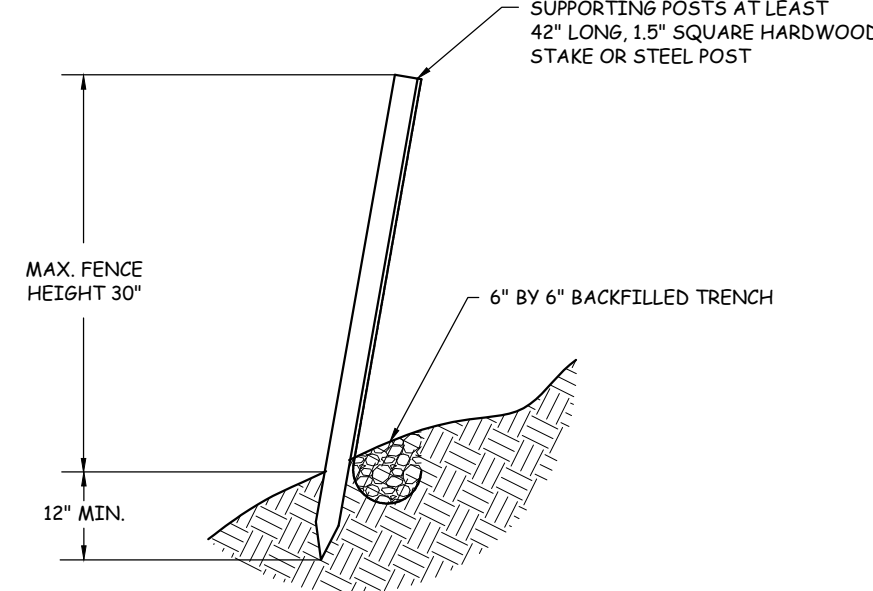
YARD DRAIN DETAIL (CURBLESS)
(N.T.S.)



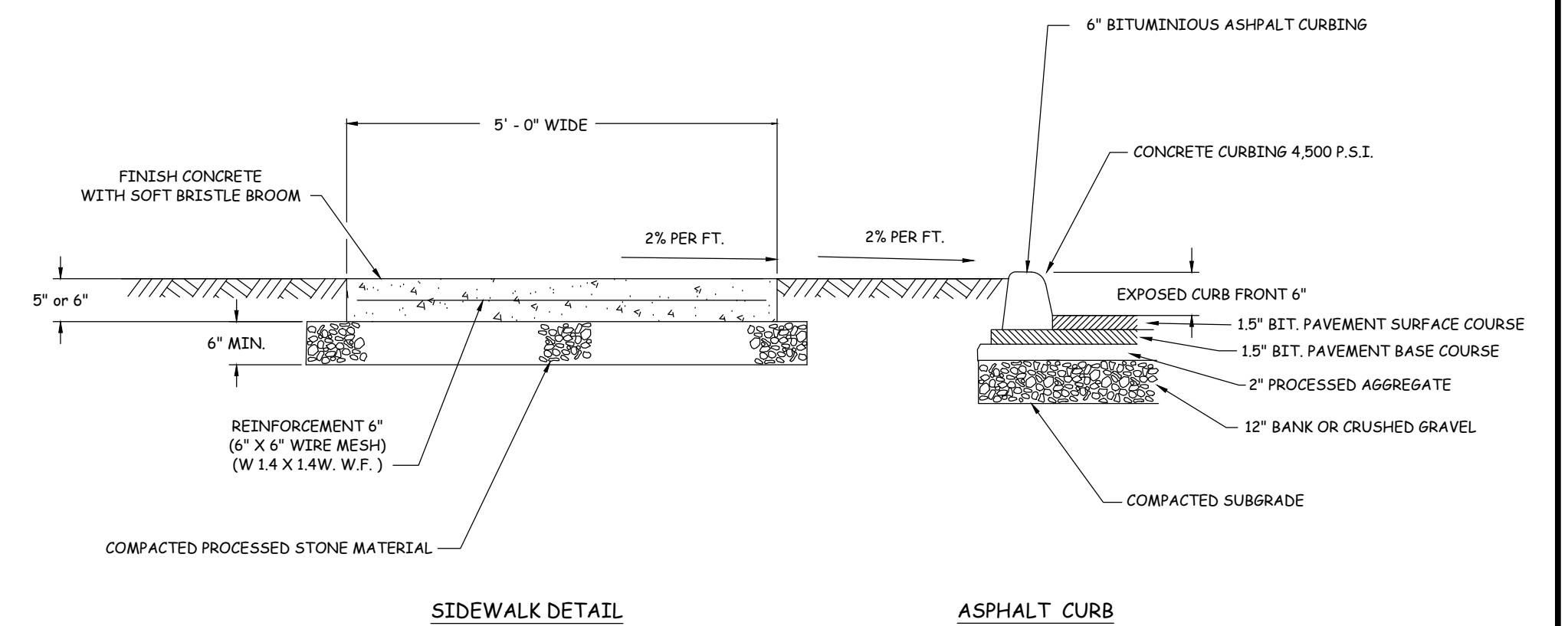
NOTES:
1. CONCRETE MIN. STRENGTH EQUAL 4,000 PSI @ 28 DAYS.
2. AS MANUFACTURED BY EASTERN PRECAST OR APPROVED EQUAL.
3. STRUCTURE TO BE SET ON 6\"/>



NOTES:
1) POSITION POSTS TO OVERLAP AS SHOWN ABOVE, MAKING CERTAIN THAT FABRIC FOLDS AROUND EACH POST ONE FULL TURN.
2) DRIVE POSTS TIGHTLY TOGETHER AND SECURE TOPS OF POSTS BY TYING OFF WITH CORD OR WIRE TO PREVENT FLOW-THROUGH OF BUILT-UP SEDIMENT AT JOINT.

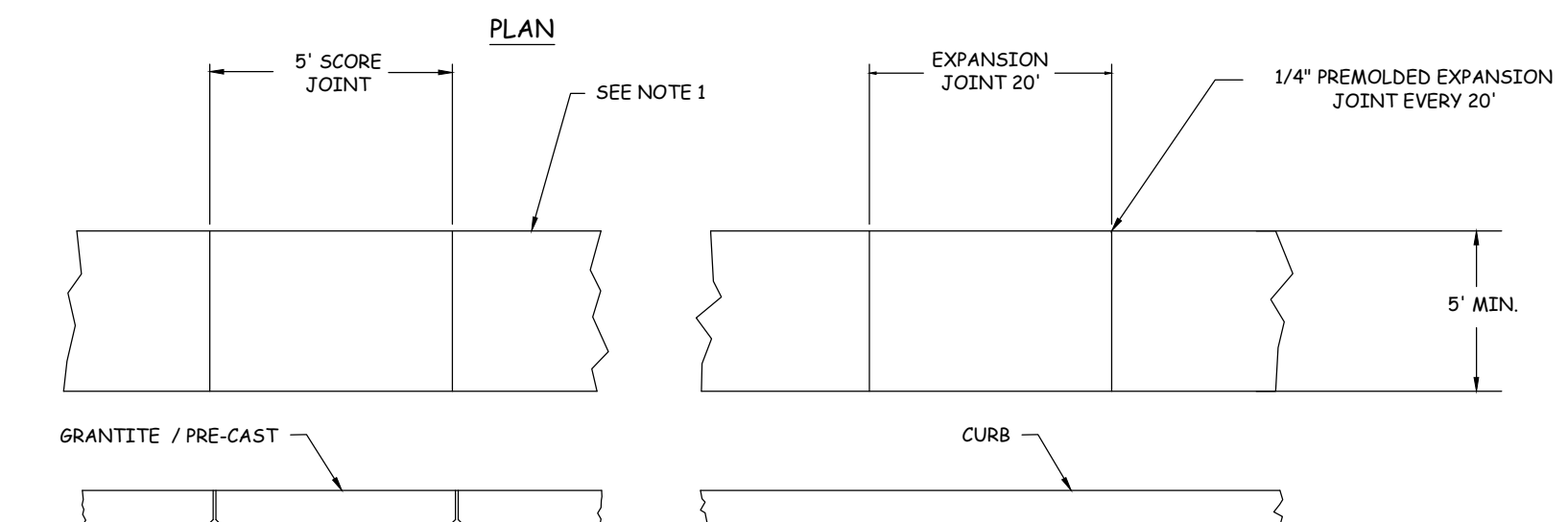


SILT FENCE DETAILS
(N.T.S.)



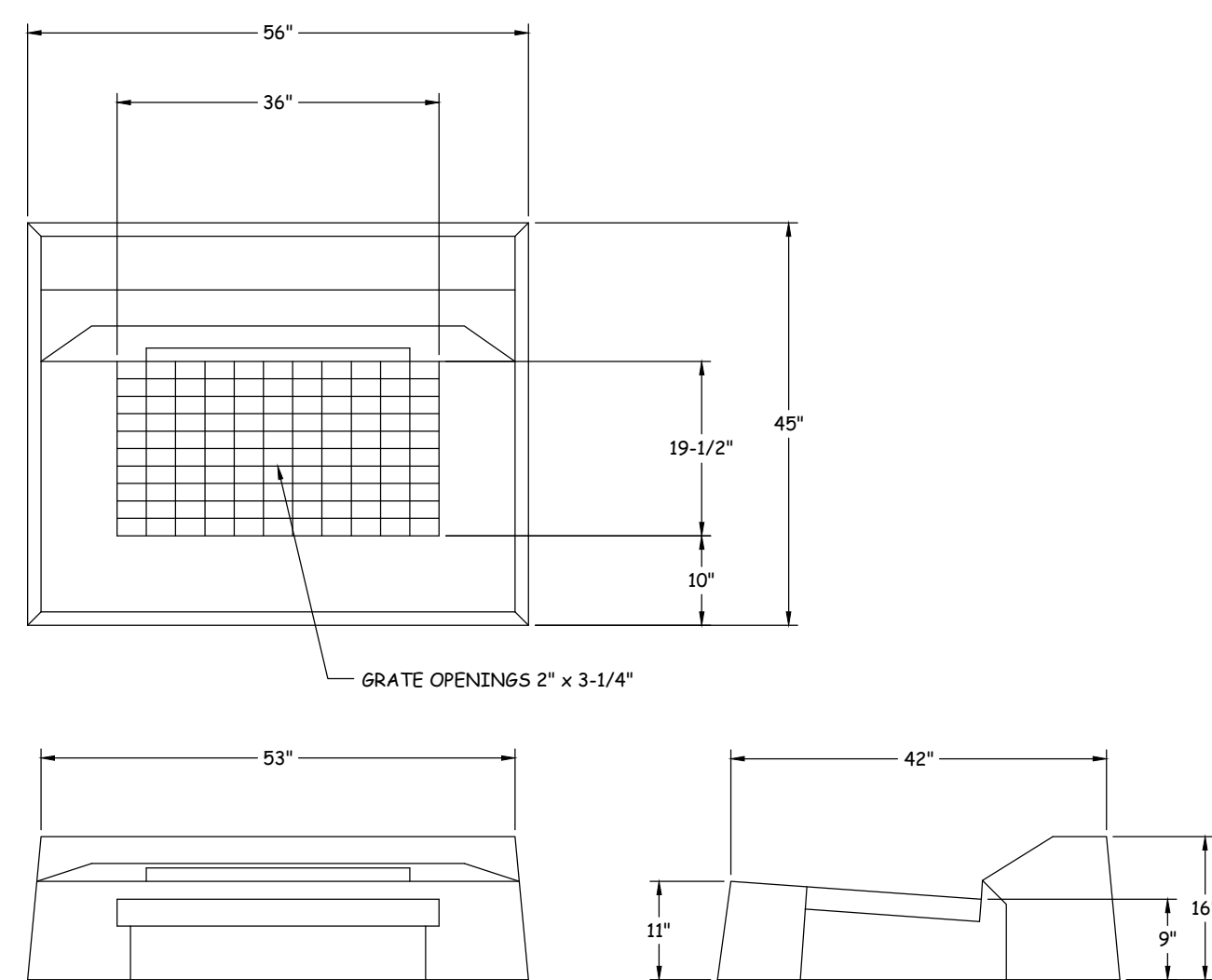
SIDEWALK DETAIL

ASPHALT CURB

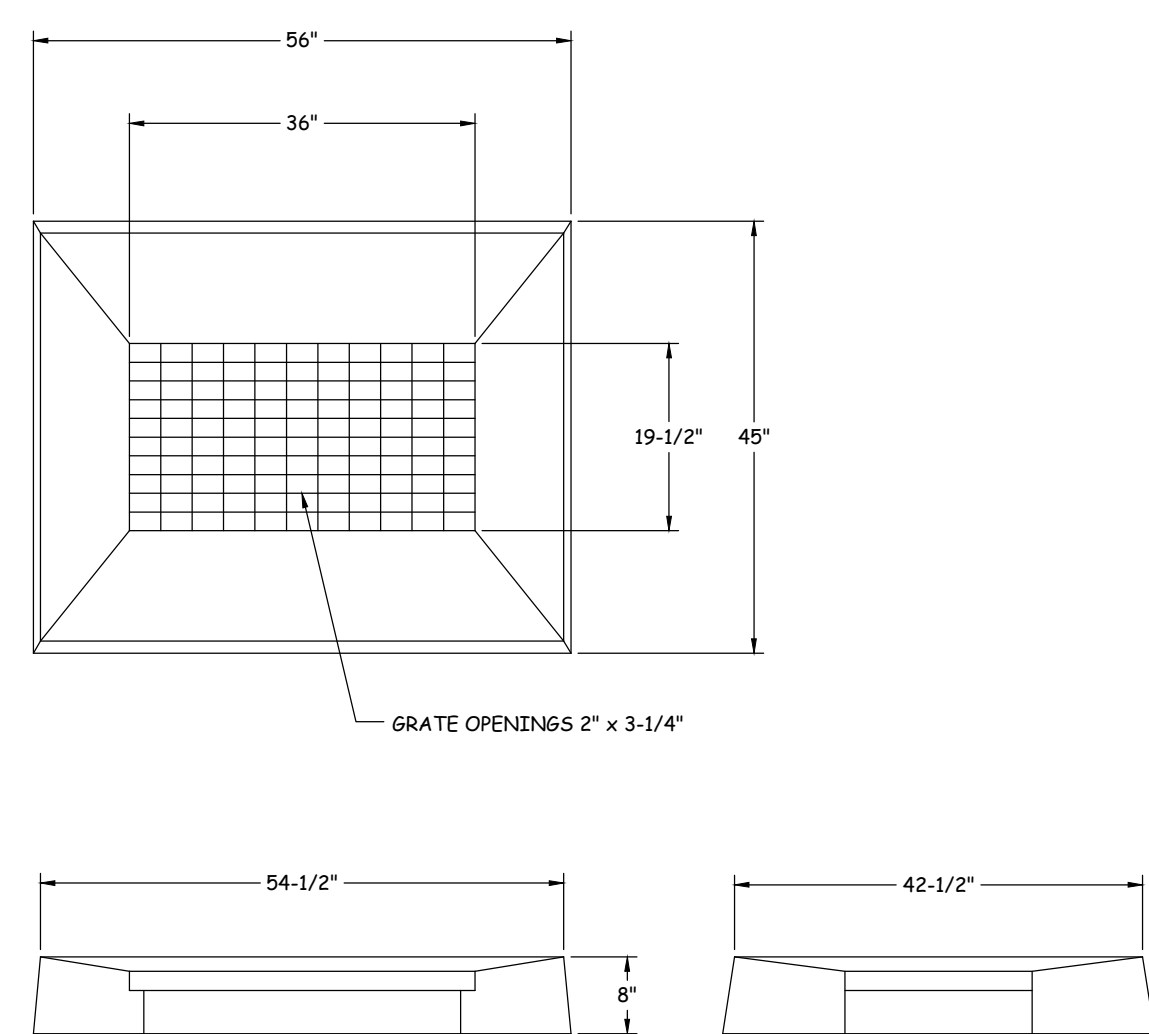


CONCRETE SIDEWALK DETAIL
(N.T.S.)

NOTES:
1) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 P.S.I. AT 28 DAYS MODIFIED DOT CLASS "C" CONFORM TO A.C.I. 308 & A.C.I. 308.9R.
2) PLACE EXPANSION JOINTS EVERY 20 FT. ON SIDEWALK AND CONCRETE CURBING AND WHERE WALK ABUTS OTHER RIGID CONSTRUCTION. PLACE EXPANSION JOINT FILLER MATERIAL THE FULL DEPTH OF CONCRETE RECESSED AT 1/4\"/>

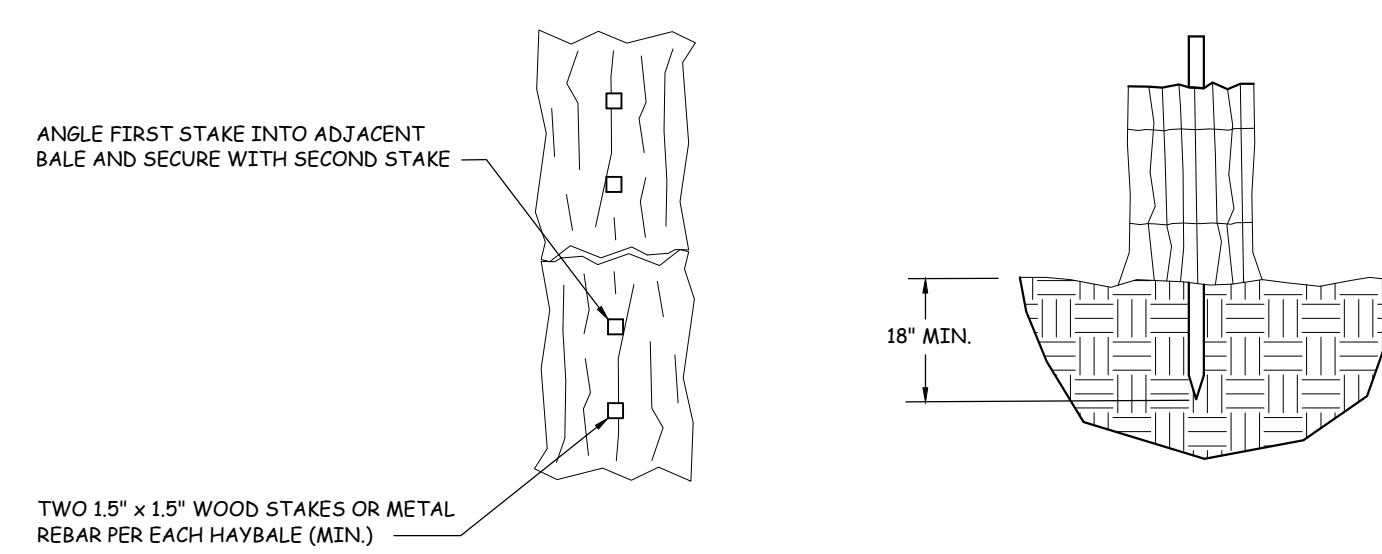


TYPE C (CURB) CATCH BASIN TOP
(N.T.S.)



TYPE CL (CURBLESS) CATCH BASIN TOP
(N.T.S.)

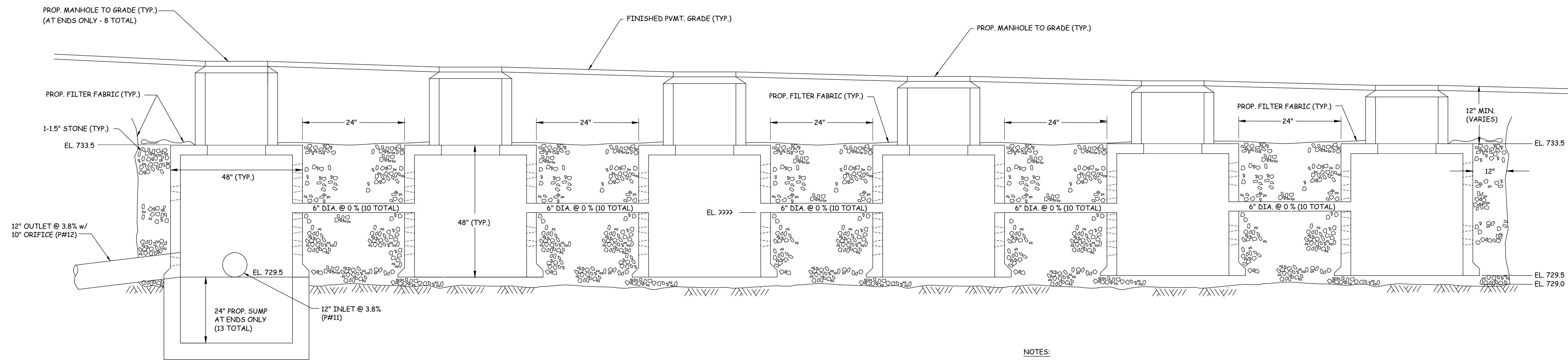
HAYBALE INSTALLATION AT CATCH BASIN
(N.T.S.)



HAYBALE INSTALLATION DETAILS
(N.T.S.)

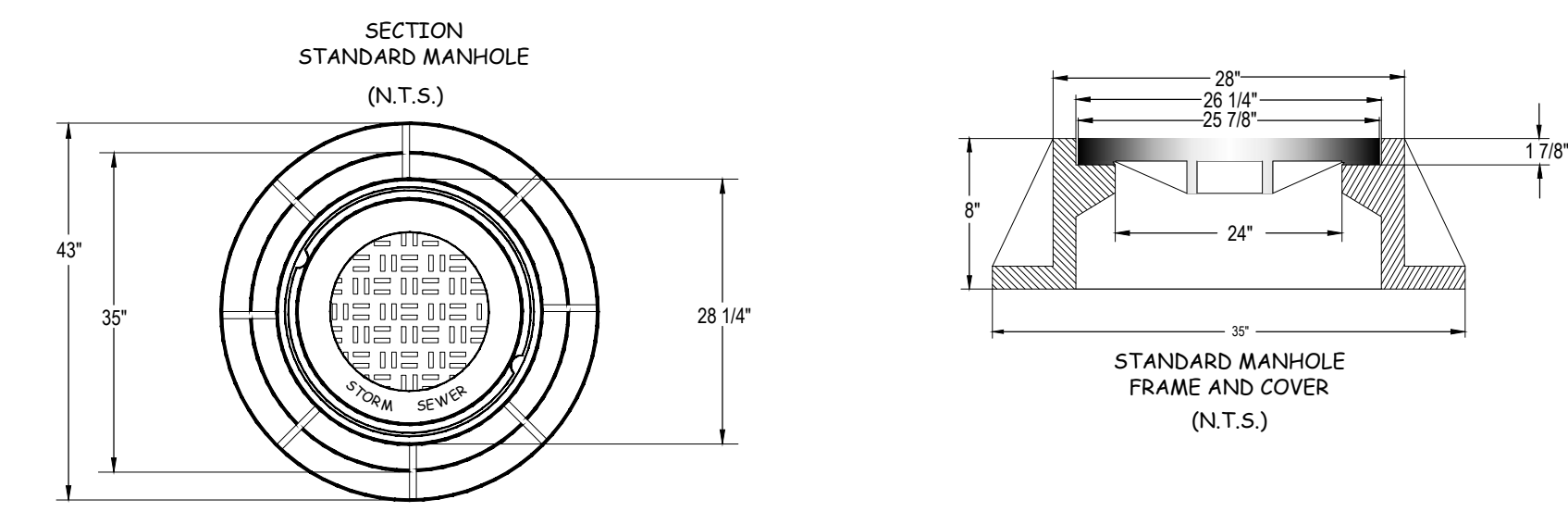
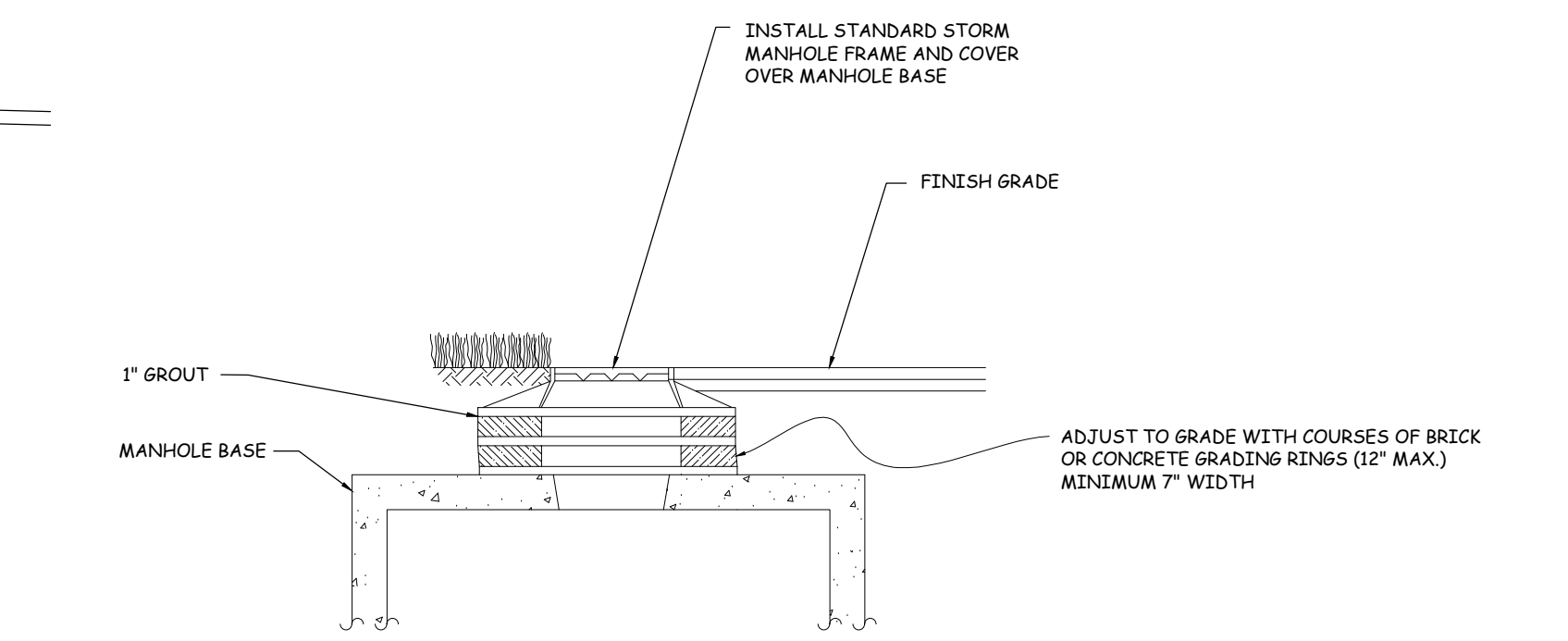


REVISIONS		ST. EDWARD THE CONFESSOR CHURCH 21 BRUSH HILL RD. (ROUTE 39) & 1 MARGERIE DR. NEW FAIRFIELD, CONNECTICUT	
		SCALE: n.t.s.	DRAWN BY: cld
		DATE: March 1, 2024	APPROVED BY: bvd
DETAIL SHEET #1			
# 211	Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810		DRAWING NUMBER: C03

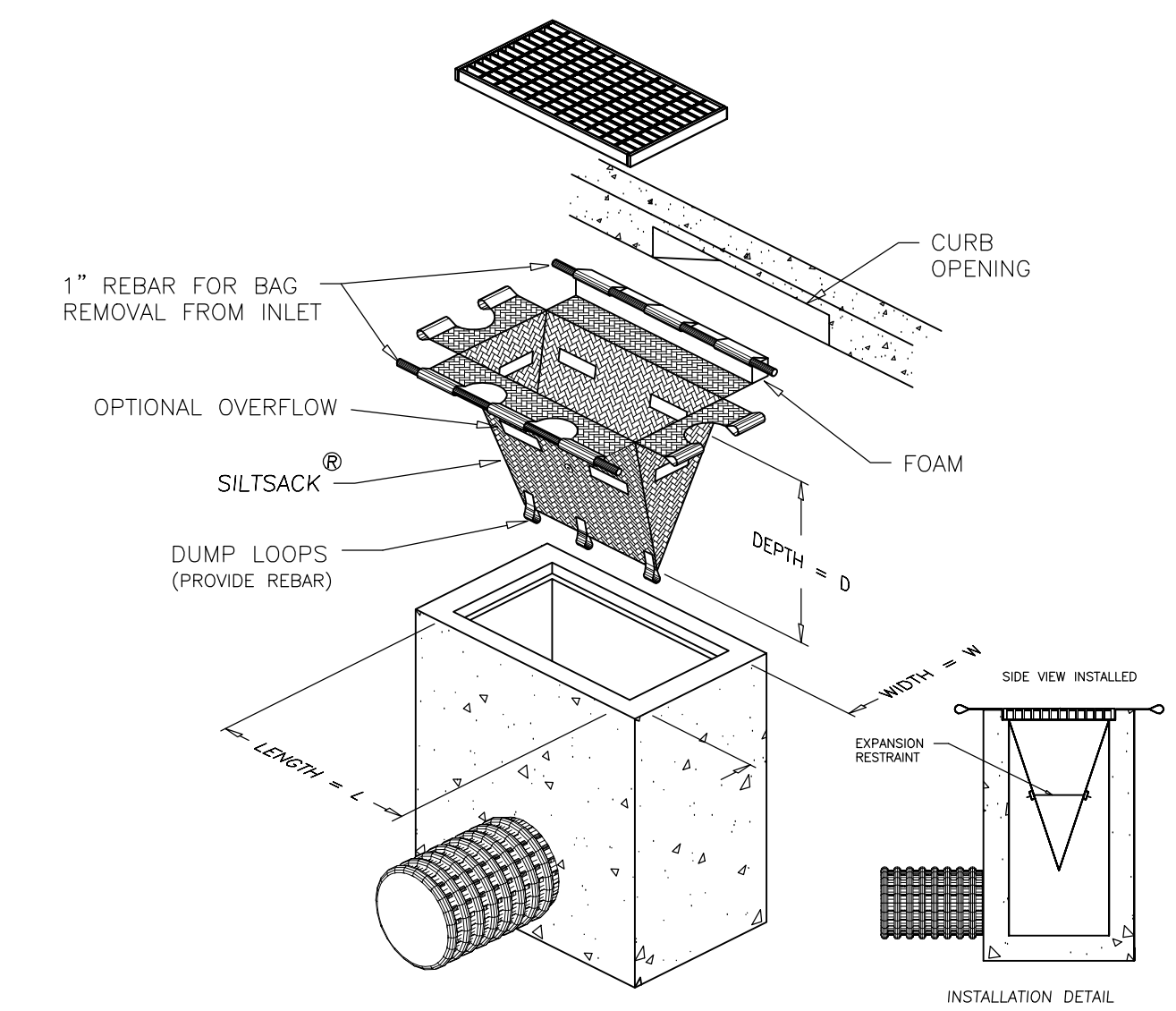


GALLERY DETAIL
(N.T.S.)

- NOTES:
- 1) ALL PRECAST COMPONENTS TO BE ABLE TO WITHSTAND H-20 WHEEL LOADING.
 - 2) CENTER TO CENTER = 6'



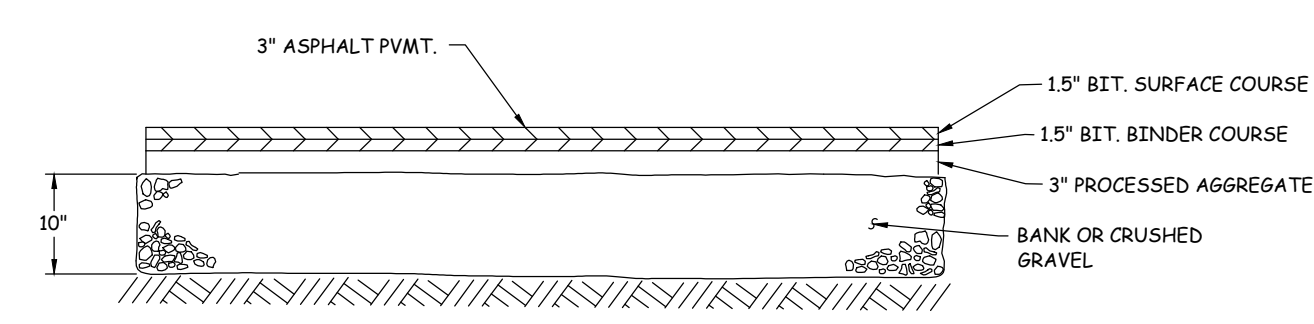
STORM SEWER STANDARD MANHOLE FRAME DETAIL
(N.T.S.)



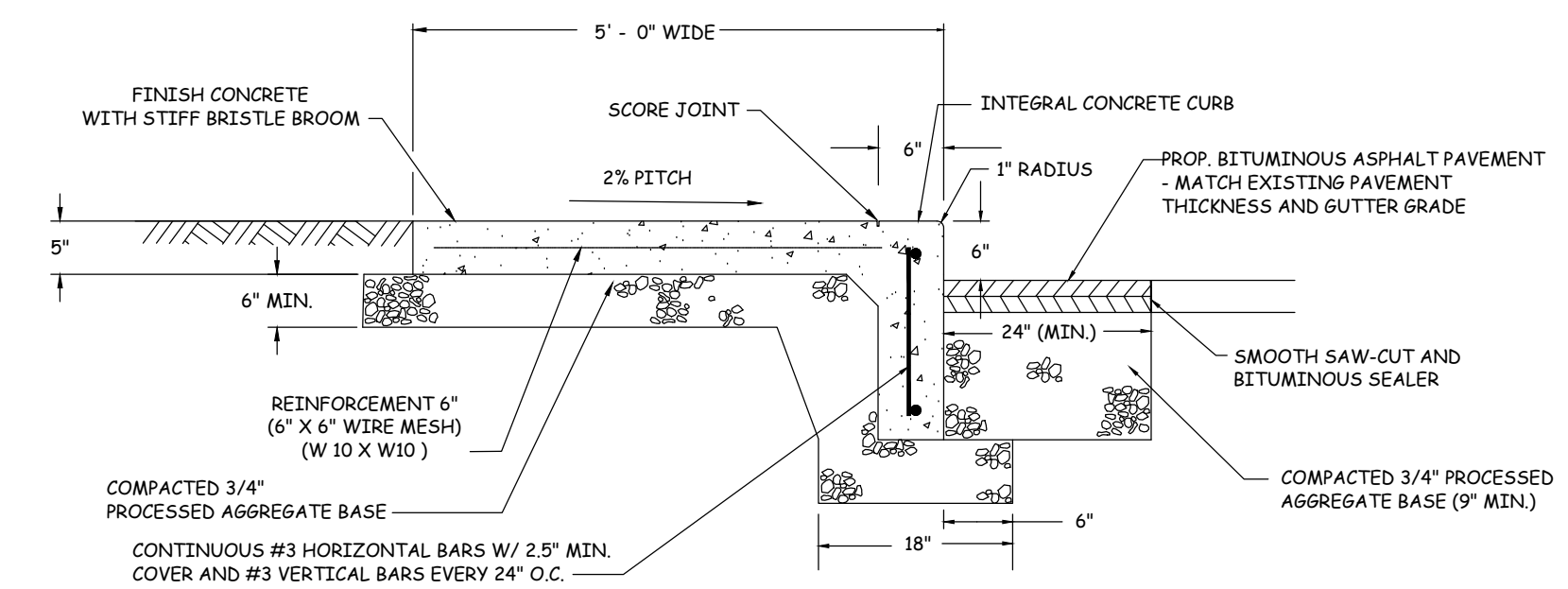
NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MILLEN BURST	ASTM D-3786	500 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

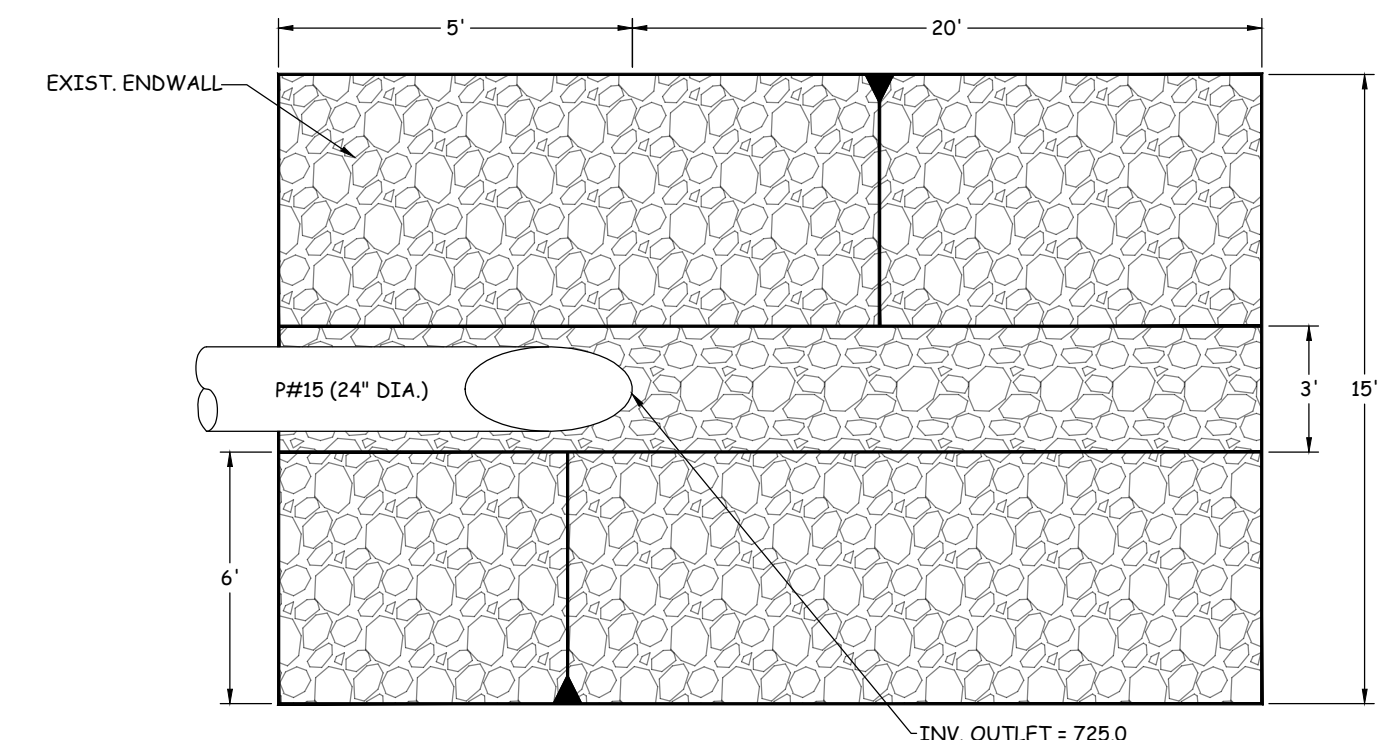
SILT SACK DETAIL
(N.T.S.)



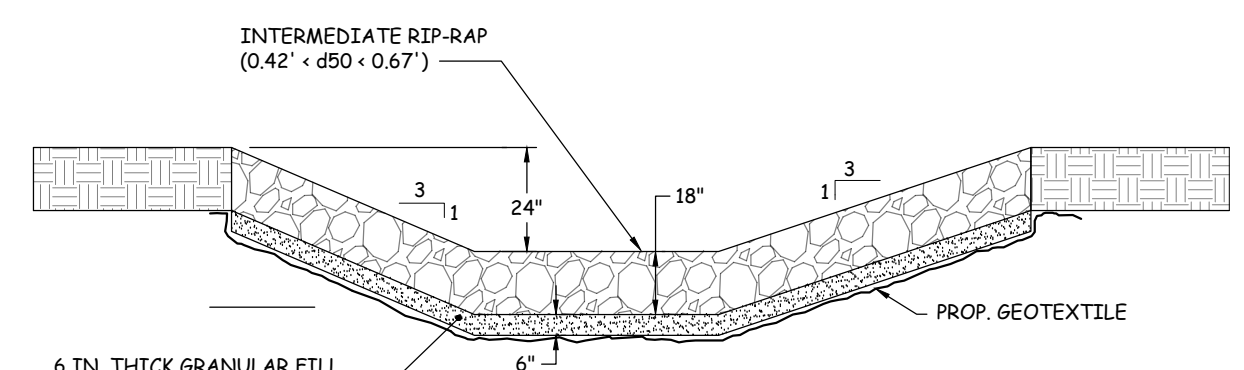
TYPICAL DRIVEWAY PAVING SECTION
(N.T.S.)



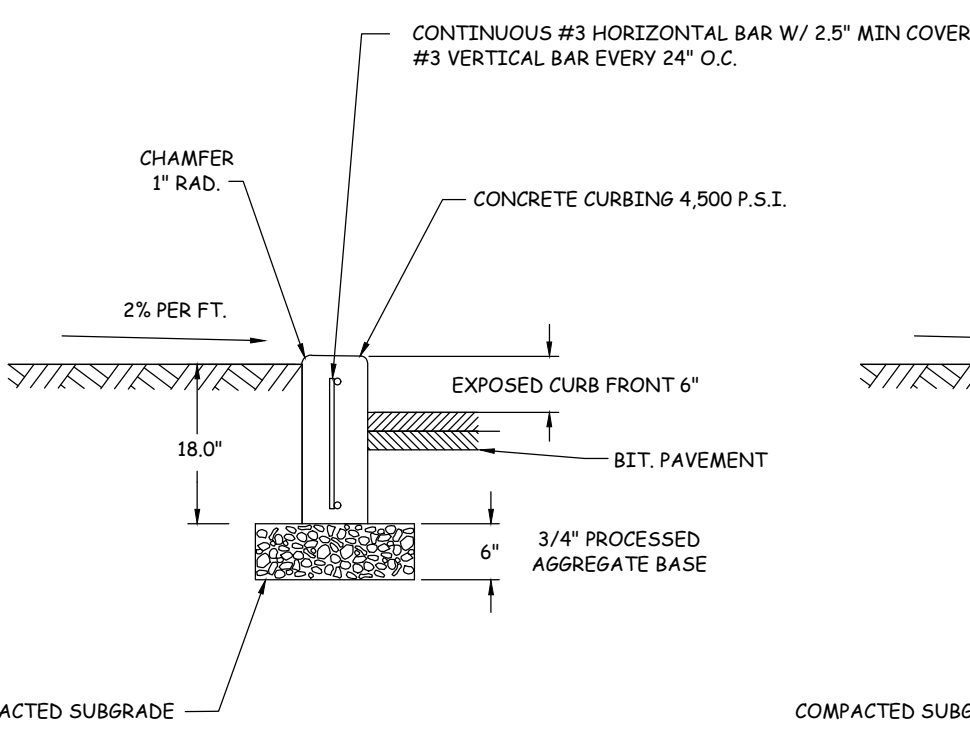
INTEGRAL CONCRETE CURB/SIDEWALK DETAIL



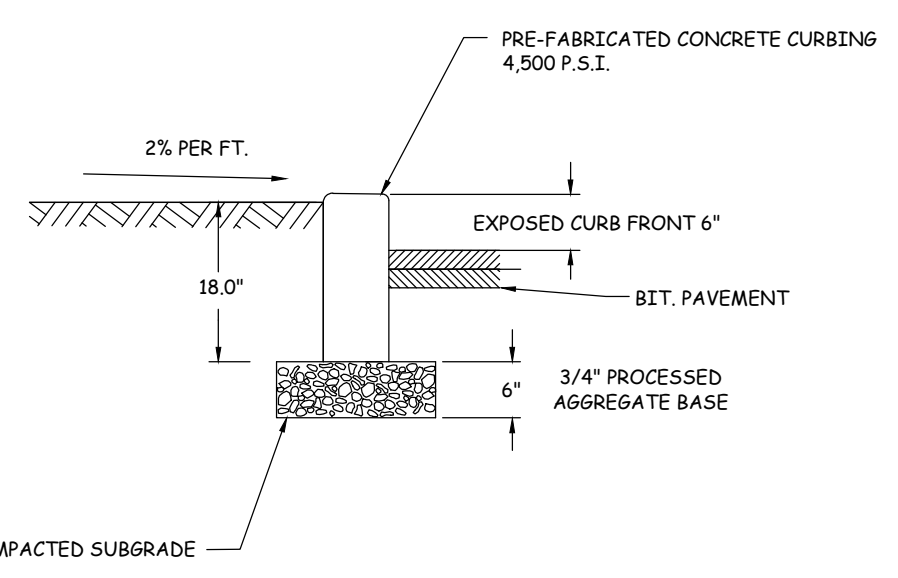
TYPE 'C' OUTLET PLAN VIEW
(N.T.S.)



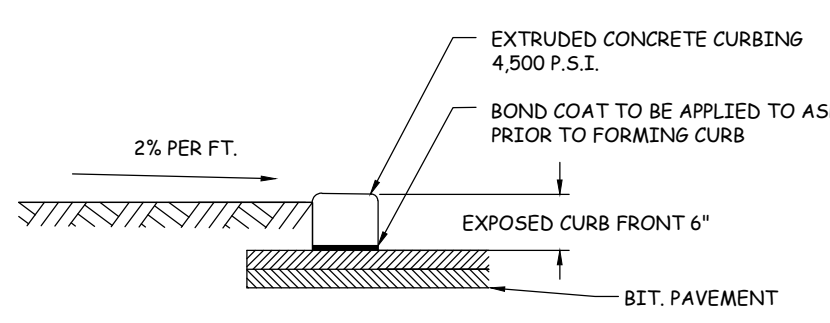
TYPE 'C' OUTLET CROSS-SECTION
(N.T.S.)



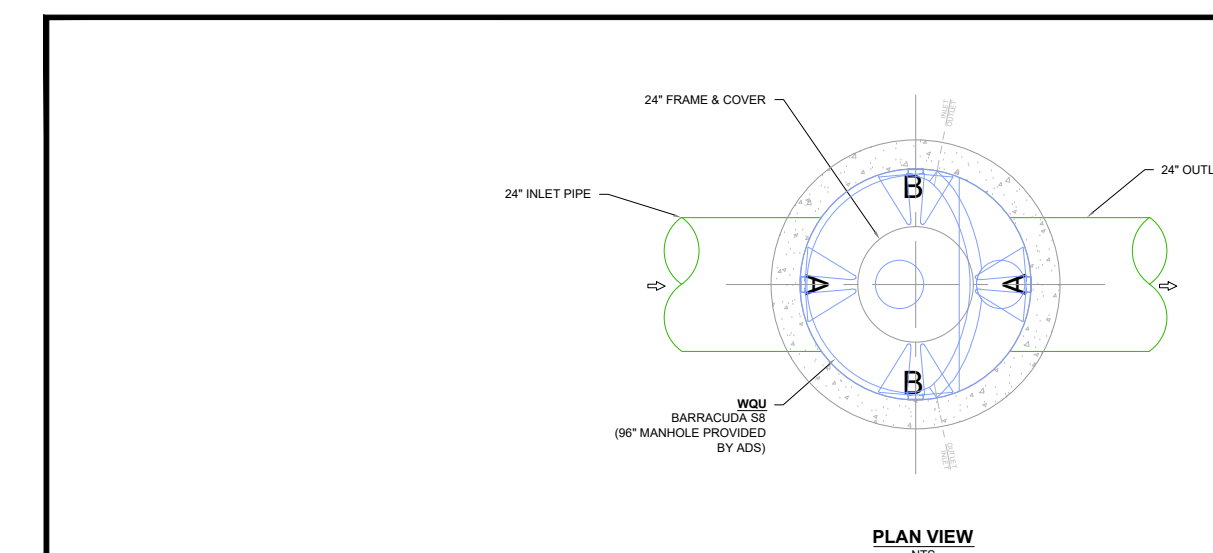
POURED CONCRETE CURB



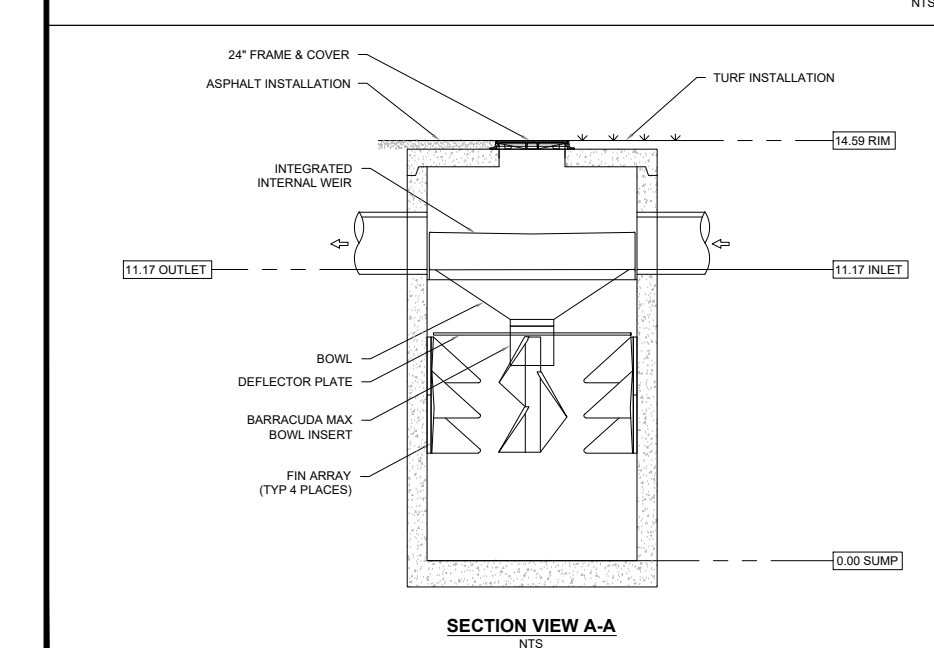
PRE-FABRICATED CONCRETE CURB



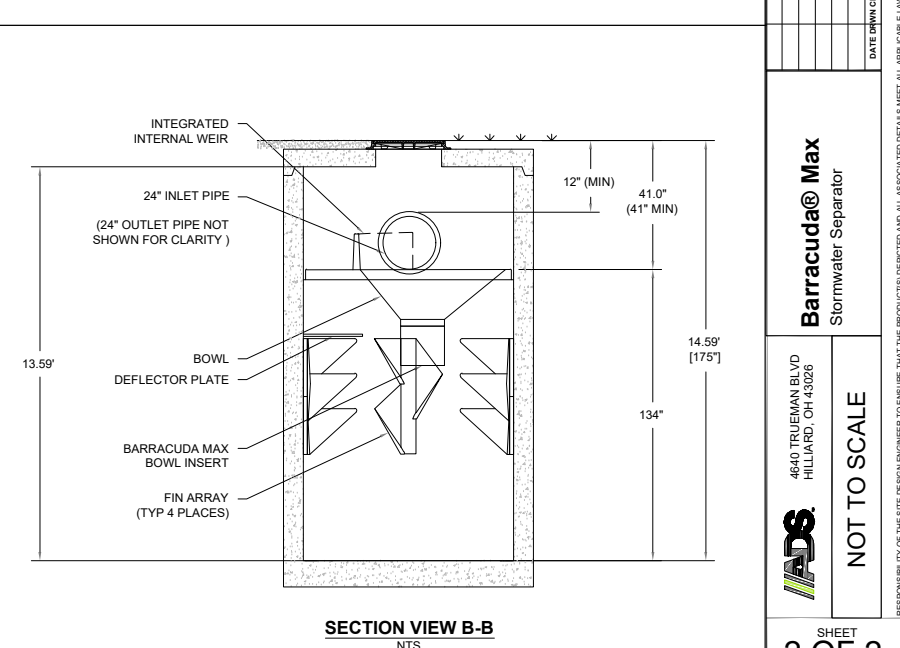
EXTRUDED CONCRETE CURB



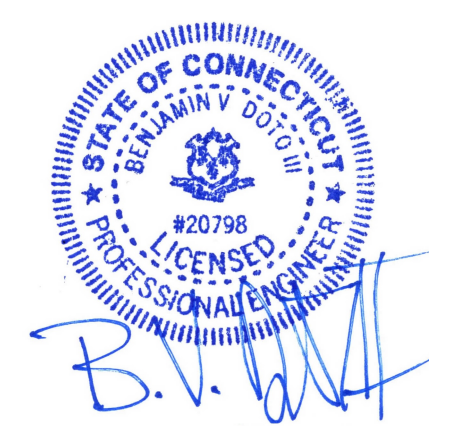
PLAN VIEW
(N.T.S.)



SECTION VIEW A-A
(N.T.S.)



SECTION VIEW B-B
(N.T.S.)



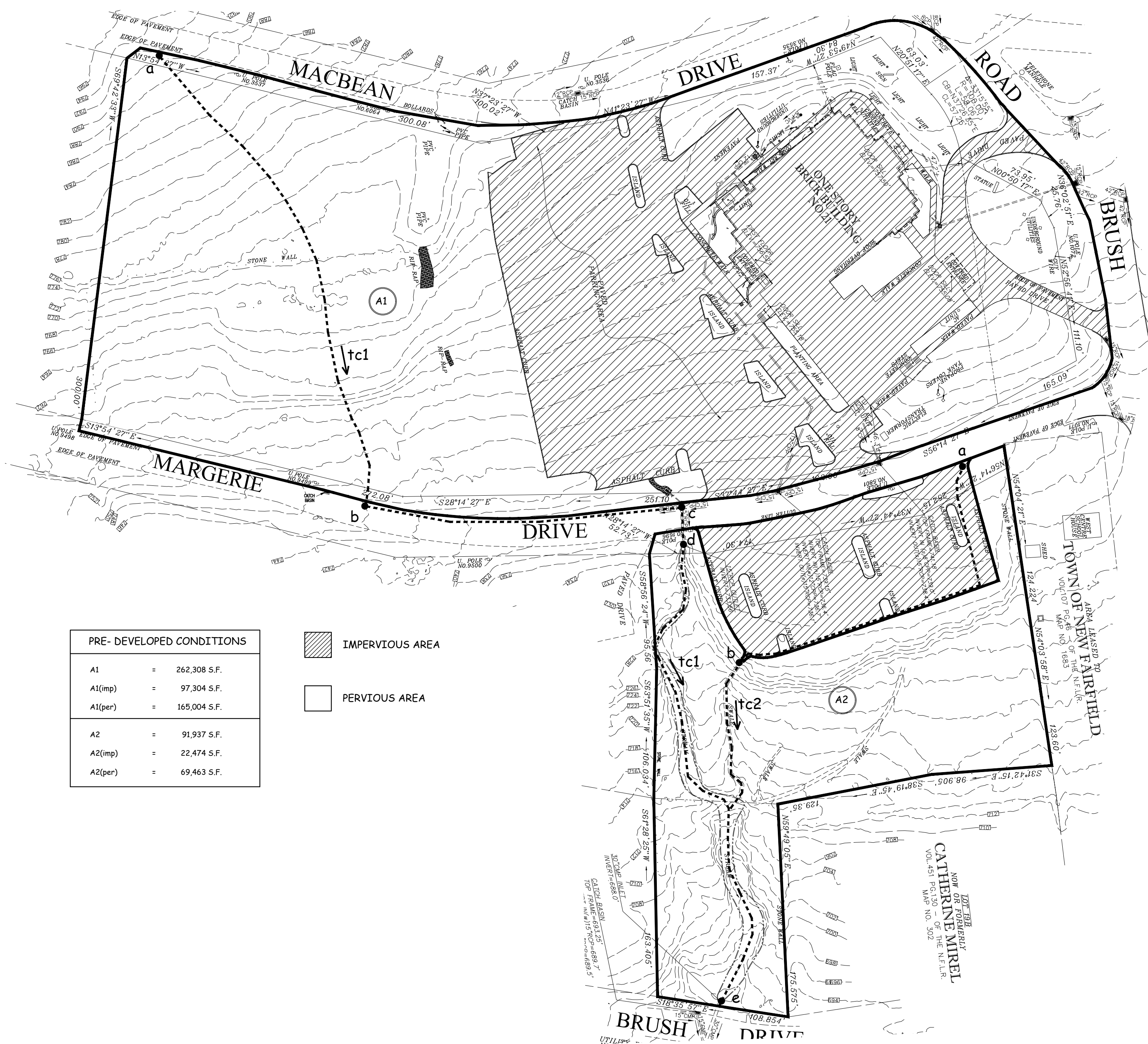
REVISIONS	ST. EDWARD THE CONFESSOR CHURCH 21 BRUSH HILL RD. (ROUTE 39) & 1 MARGERIE DR. NEW FAIRFIELD, CONNECTICUT	
	SCALE: n.t.s.	DRAWN BY: cld
	DATE: March 1, 2024	APPROVED BY: bvd
	DETAIL SHEET #2	
# 211	Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810	DRAWING NUMBER: C04

BARRECUOLA MAX 65
CITY, STATE
DATE
PROJECT
DRAWN BY
CHECKED BY
DATE
PROJECT
DRAWN BY
CHECKED BY
DATE

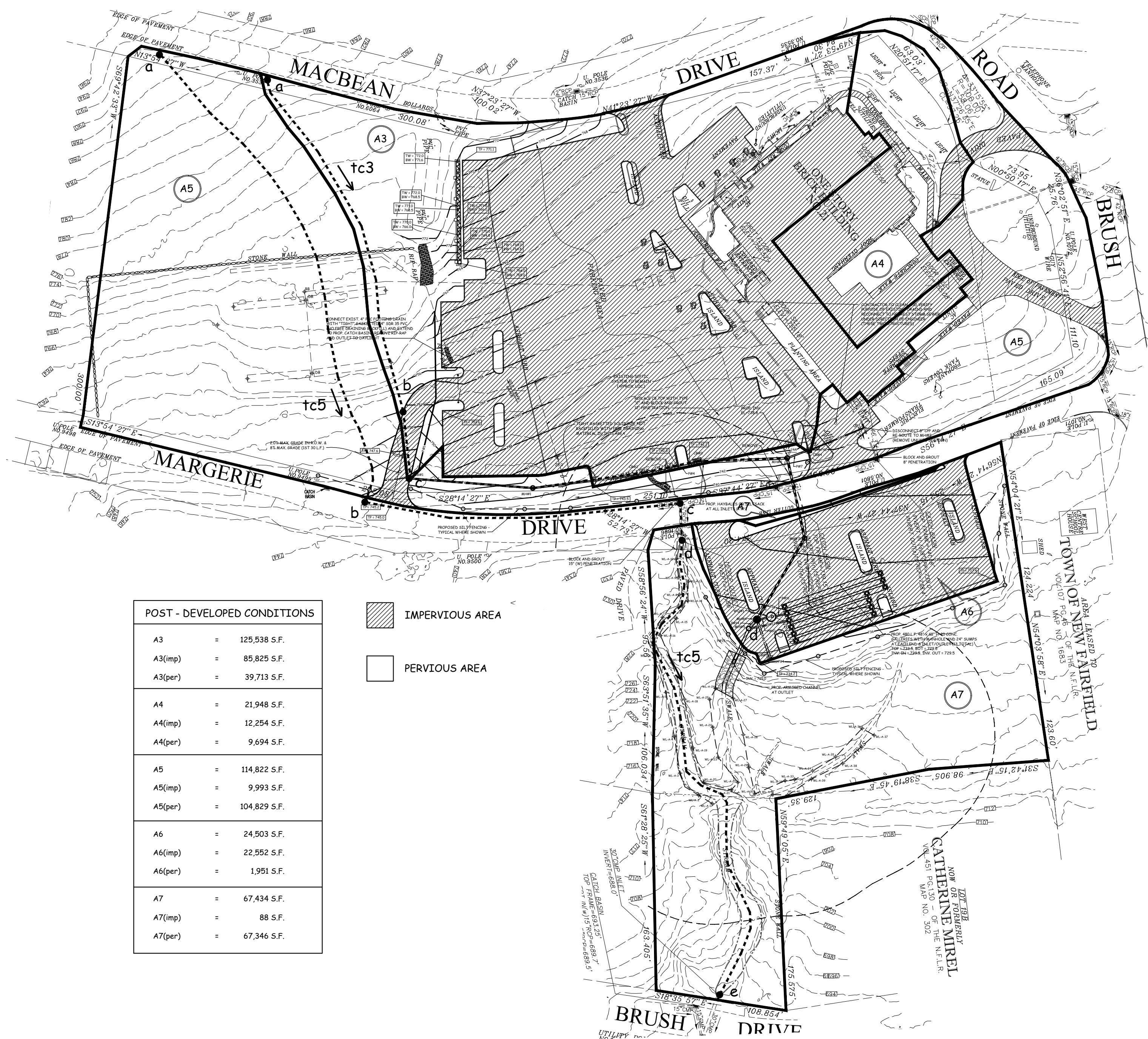
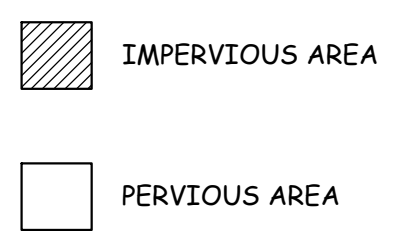
Barreccuola Max
65
CITY, STATE
DATE
PROJECT
DRAWN BY
CHECKED BY
DATE

NOT TO SCALE

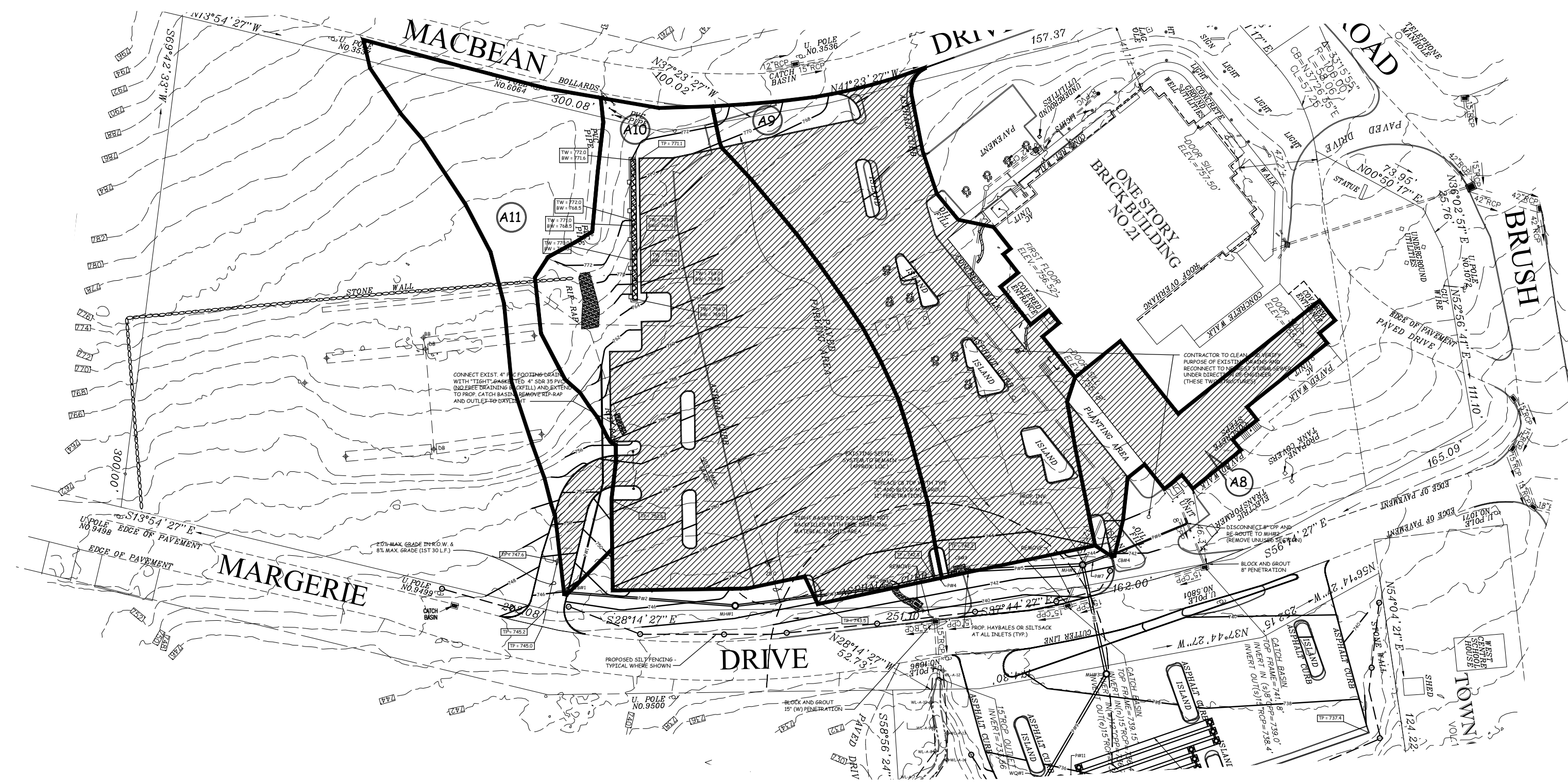
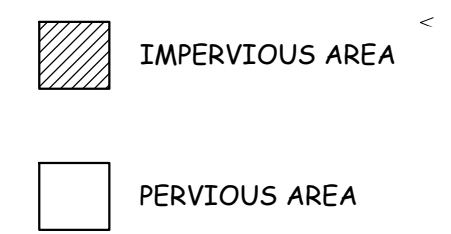
SHEET
2 OF 2



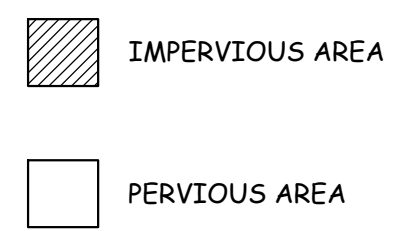
PRE- DEVELOPED CONDITIONS	
A1	= 262,308 S.F.
A1(mp)	= 97,304 S.F.
A1(per)	= 165,004 S.F.
A2	= 91,937 S.F.
A2(mp)	= 22,474 S.F.
A2(per)	= 69,463 S.F.



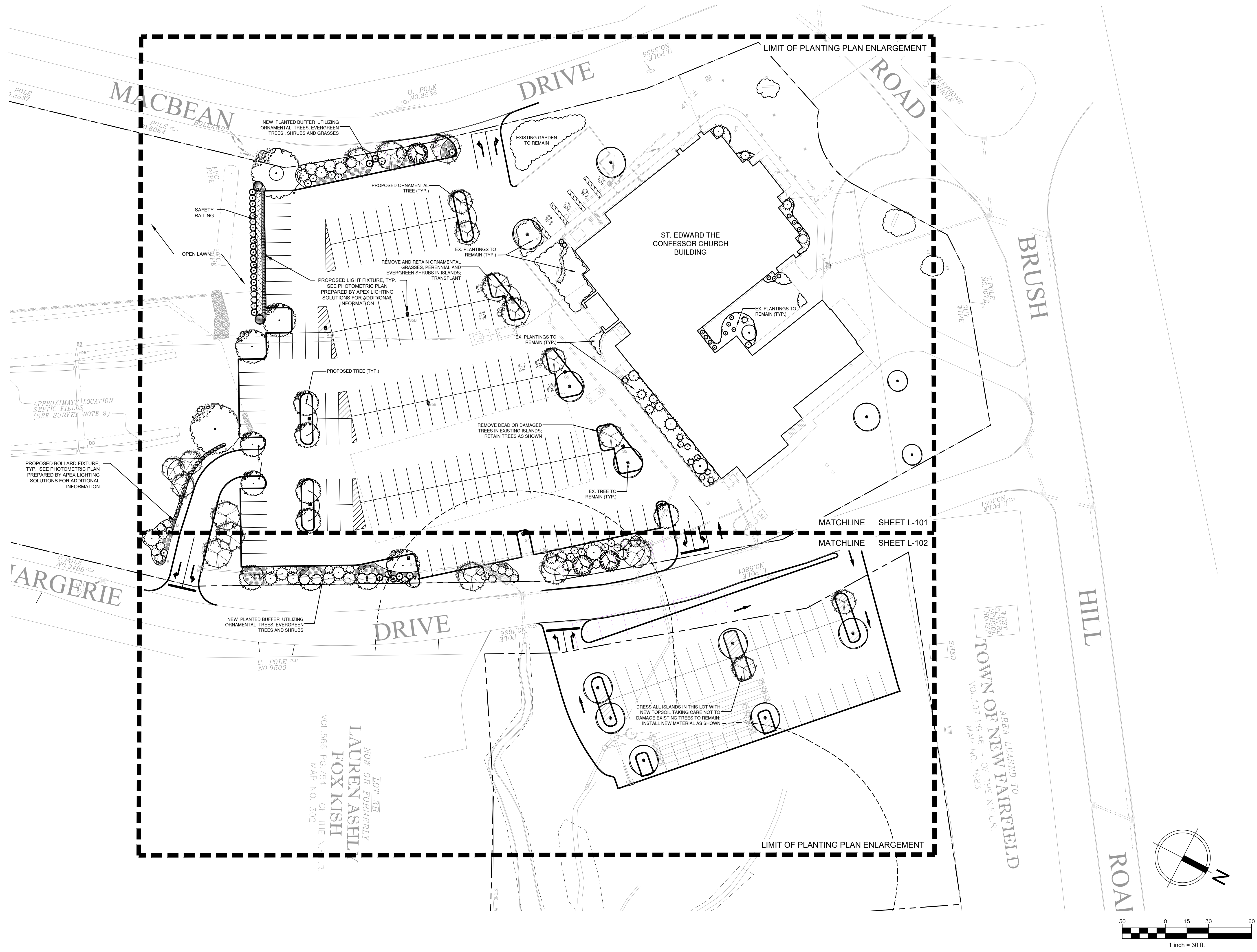
POST - DEVELOPED CONDITIONS	
A3	= 125,538 S.F.
A3(mp)	= 85,825 S.F.
A3(per)	= 39,713 S.F.
A4	= 21,948 S.F.
A4(mp)	= 12,254 S.F.
A4(per)	= 9,694 S.F.
A5	= 114,822 S.F.
A5(mp)	= 9,993 S.F.
A5(per)	= 104,829 S.F.
A6	= 24,503 S.F.
A6(mp)	= 22,552 S.F.
A6(per)	= 1,951 S.F.
A7	= 67,434 S.F.
A7(mp)	= 88 S.F.
A7(per)	= 67,346 S.F.



SUB-AREAS SUMMARY			
A8	= 8,754 S.F.	A10	= 47,185 S.F.
A8(mp)	= 7,608 S.F.	A10(mp)	= 37,796 S.F.
A8(per)	= 996 S.F.	A10(per)	= 9,389 S.F.
A9	= 30,526 S.F.	A11	= 17,266 S.F.
A9(mp)	= 26,010 S.F.	A11(mp)	= 1,280 S.F.
A9(per)	= 4,516 S.F.	A11(per)	= 15,986 S.F.



REVISIONS		ST. EDWARD THE CONFESSOR CHURCH 21 BRUSH HILL RD. (RTE. 39) & 1 MARGERIE DR. NEW FAIRFIELD, CONNECTICUT	
		SCALE: 1" = 60'	DRAWN BY: bvd
		DATE: March 1, 2024	APPROVED BY: bvd
DRAINAGE AREA MAPS			
# 211	Benjamin V. Doto, III, P.E., LLC 248 Main St., Suite 3A, Danbury, CT 06810	DRAWING NUMBER: C05	



LEGEND -- PLANTING

EXISTING TREES	
PROPOSED DECIDUOUS TREES	
PROPOSED ORNAMENTAL TREE	
PROPOSED EVERGREEN TREES	
DECIDUOUS SHRUBS	
EVERGREEN SHRUBS	
ORNAMENTAL GRASS	
PERENNIALS	

SEE PLANS PREPARED BY BENJAMIN V. DOTO III, P.E., LLC FOR ALL DETAILED SITE LAYOUT, GRADING AND UTILITIES, ETC.

SEE PLANS PREPARED BY APEX LIGHTING SOLUTIONS FOR PHOTOMETRIC AND LIGHTING PLAN.

NOTE:
 1. BASE INFORMATION TAKEN FROM A MAP TITLED "PARKING IMPROVEMENT SITE PLAN", PREPARED BY BENJAMIN V. DOTO III, P.E., LLC, DATED DECEMBER 27, 2023.
 2. THIS SITE IS ZONED R-44

3.01.24 ISSUE FOR PERMITTING
 DATE: REVISION:



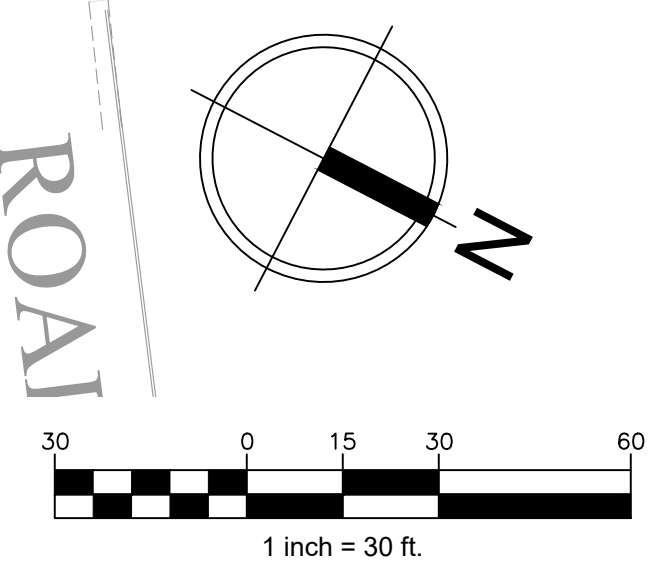
A2 Land Consulting, PLLC
 30 Rocky Hill Rd.
 New Fairfield, CT
 P: 845.531.1504
 E: abigail@a2land.com
 W: www.a2land.com

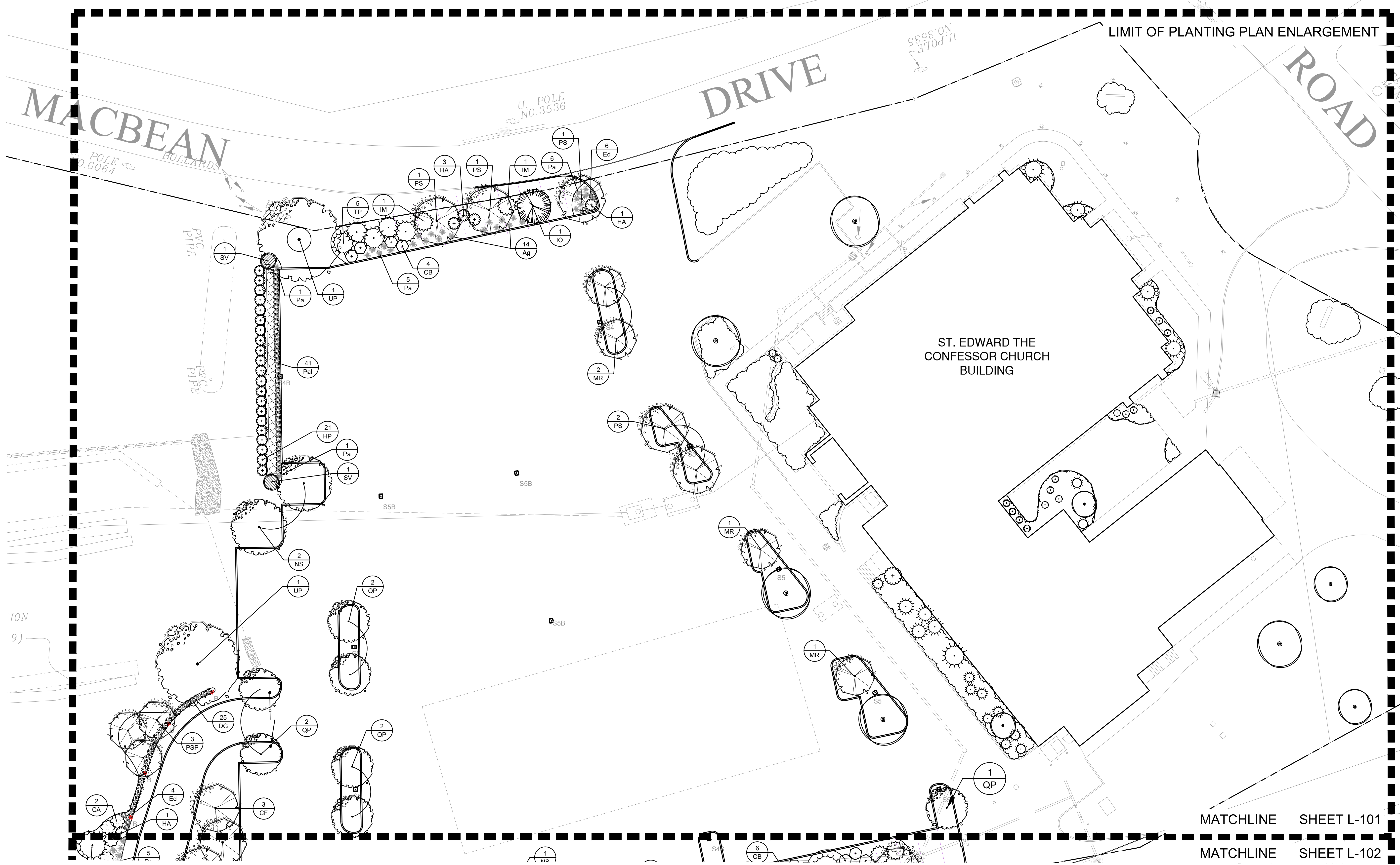
PARKING & STORMWATER IMPROVEMENT PLANS

OVERALL PLANTING PLAN

DATE: 1.4.24
 SCALE: 1" = 20'
 PROJ #: 1926
 DWG FILE: 1926LA
 SHEET: L-100

PREPARED FOR
ST. EDWARD THE CONFESSOR CHURCH
 21 BRUSH HILL ROAD
 NEW FAIRFIELD, CT





SEE SHEET L-102 FOR GENERAL PLANTING SCHEDULE, NOTES & DETAILS.

SEE PLANS PREPARED BY BENJAMIN V. DOTO III, P.E., LLC FOR ALL DETAILED SITE LAYOUT, GRADING AND UTILITIES, ETC.

NOTE:
 1. BASE INFORMATION TAKEN FROM A MAP TITLED "PARKING IMPROVEMENT SITE PLAN" PREPARED BY BENJAMIN V. DOTO III, P.E., LLC, DATED DECEMBER 27, 2023.
 2. THIS SITE IS ZONED R-44

3.01.24 ISSUE FOR PERMITTING
 DATE: REVISION:

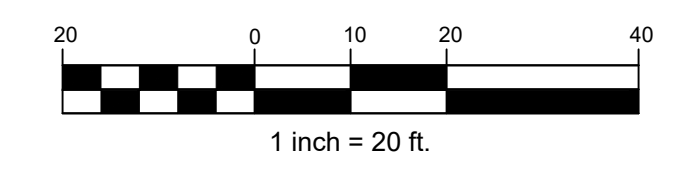
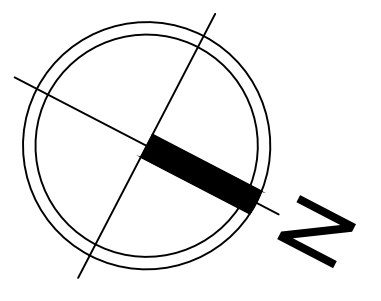
A2 LAND CONSULTING, PLLC
 30 Rocky Hill Rd.
 New Fairfield, CT
 P: 845.531.1504
 E: abigail@a2land.com
 W: www.a2land.com

PARKING & STORMWATER IMPROVEMENT PLANS

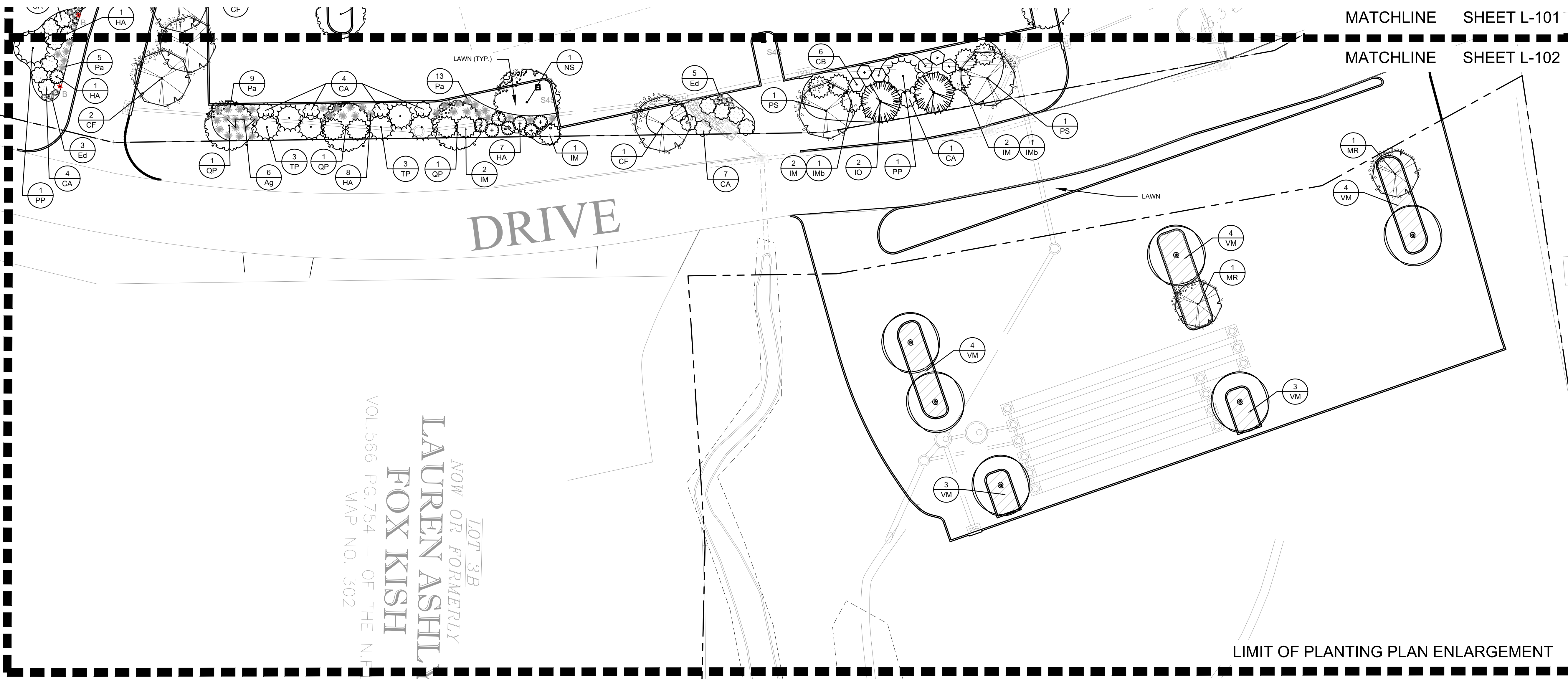
PLANTING PLAN ENLARGEMENT I

DATE: 1.4.24
 SCALE: 1" = 20'
 PROJ #: 1926
 DWG FILE: 1926LA
 SHEET: L-101

PREPARED FOR
ST. EDWARD THE CONFESSOR CHURCH
 21 BRUSH HILL ROAD
 NEW FAIRFIELD, CT



MATCHLINE SHEET L-101
 MATCHLINE SHEET L-102



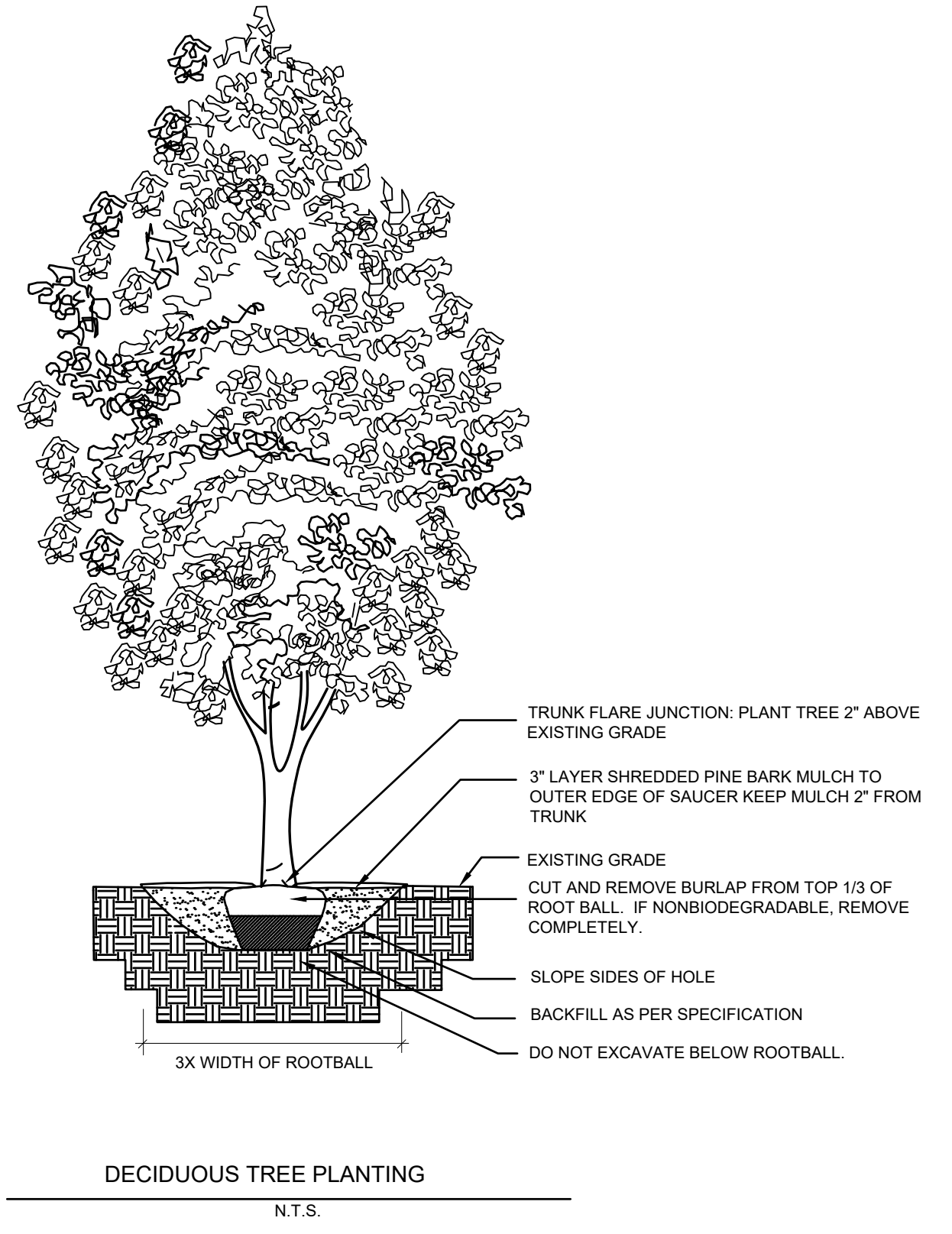
MATCHLINE SHEET L-101
 MATCHLINE SHEET L-102

LOT 3B
 NOW OR FORMERLY
 LAUREN ASHLER
 FOX KISH
 VOL. 566 PG. 754 - OF THE N.F.M.
 MAP NO. 302

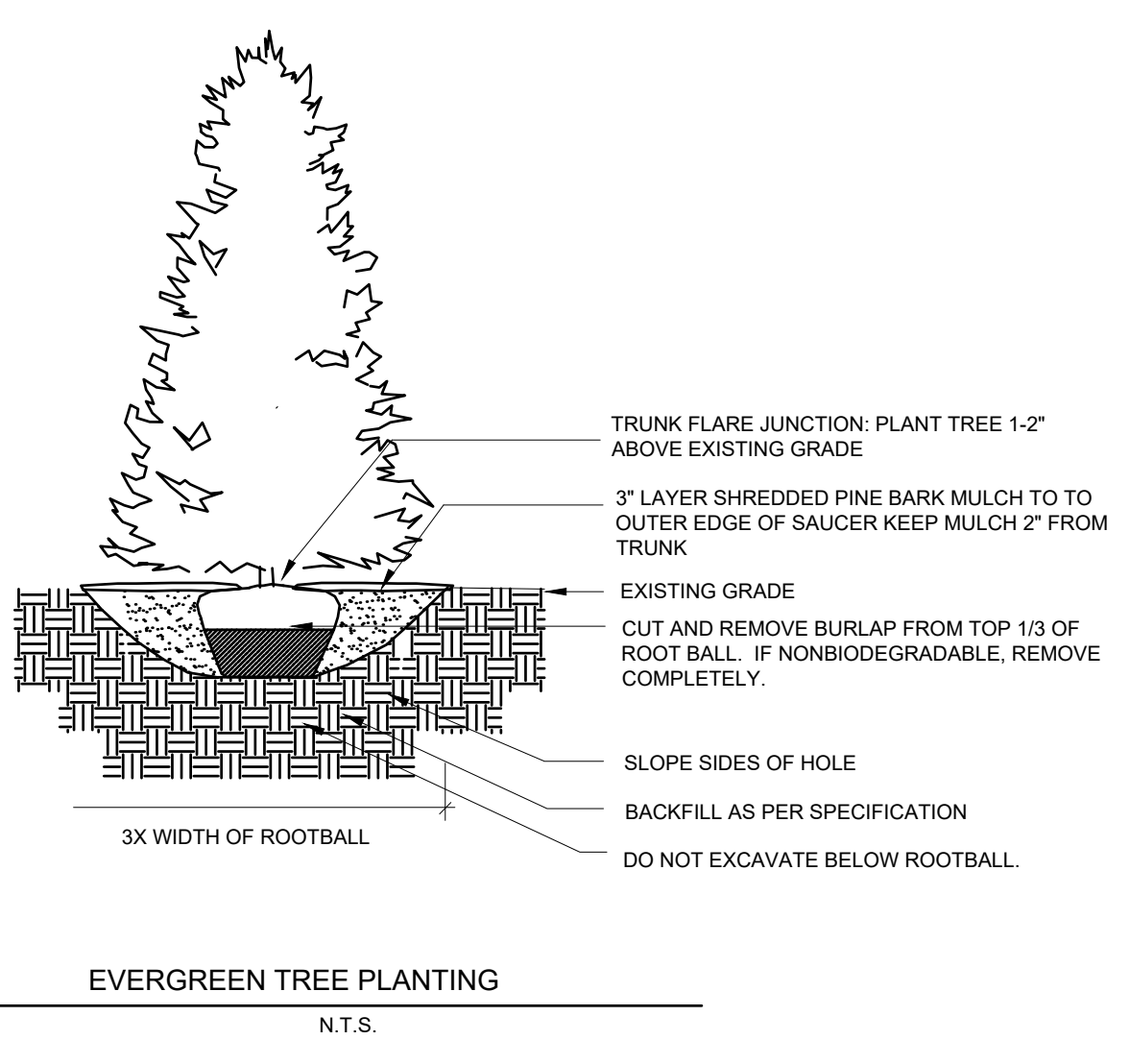
- GENERAL PLANTING NOTES**
- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.N.L.A. STANDARDS.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
 - ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT PRE-APPROVED AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
 - PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE AT HIS OWN EXPENSE.
 - ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE A CONTINUOUS BED OF TOPSOIL, 18" DEEP.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
 - PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
 - WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
 - CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
 - CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.
 - ALL SHRUB AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
 - TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS.
 - CONTRACTOR TO VERIFY ALL SITE CONDITIONS IN FIELD PRIOR TO THE START OF CONSTRUCTION.
 - FIELD REVISIONS TO PLANT MATERIAL LOCATION AND MATERIAL SUBSTITUTIONS WILL BE PERMITTED IF CONFLICTS ARISE. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF CHANGE IS REQUIRED.

- SEEDING NOTES**
- SEED MIXES WILL BE SOWN WITH A HAND-HELD SPREADER. LIGHTLY RAKE TO ENSURE PROPER SOIL-SEED CONTACT. SEEDING CAN TAKE PLACE ON FROZEN SOIL AS THE FREEZING AND THAWING WILL WORK THE SEED INTO THE SOIL. WHEN PLANTING IN THE SPRING, PLANT EARLY SO THERE IS SUFFICIENT RAINFALL. IF SPRING CONDITIONS ARE DRIER THAN USUAL, WATERING MAY BE REQUIRED. A NON-INVASIVE ANNUAL, SUCH AS WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION COVER IN THE FALL. DO NOT ADD ANNUAL RYEGRASS, KENTUCKY BLUEGRASS OR PERENNIAL RYEGRASS. ALL SEED MIXES SHOULD BE DILUTED WITH FILLER SUCH AS SAND TO ENSURE UNIFORM COVERAGE. THE SEEDED AREA IS TO BE MULCHED.
- GENERAL SEED MIX**
- WATER STAR ULTRA MIXTURE
 AS SUPPLIED BY PLANTER CHOICE NURSERY,
 OR APPROVED EQUAL.
- 30% RAZOR CREEPING RED FESCUE
 - 20% INTERGA PERENNIAL RYEGRASS
 - 20% APR 2015 PERENNIAL RYEGRASS
 - 10% SURVIVOR CHEWINGS FESCUE
 - 10% SOPRANO PERENNIAL RYEGRASS
 - 10% BLUE BONNET KENTUCKY BLUE
- 50# per 12,500 sq. ft.

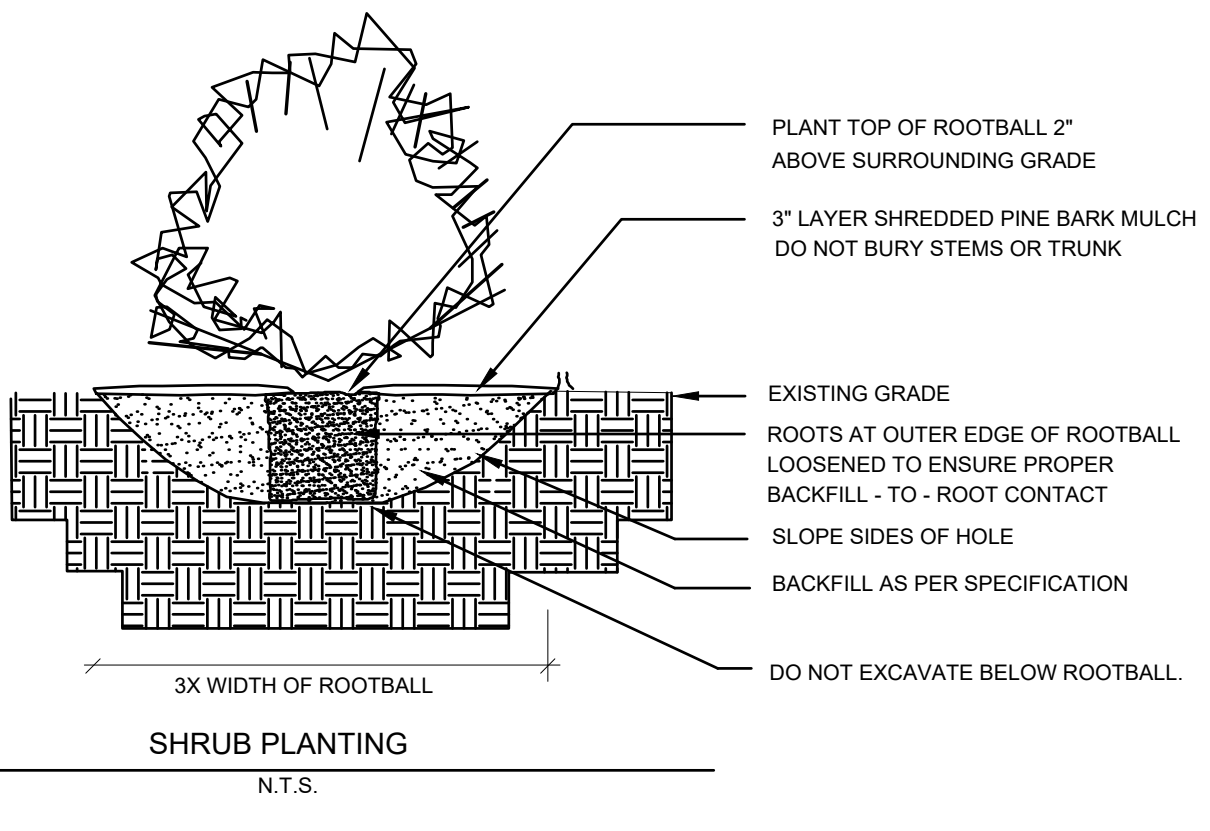
PLANT SCHEDULE						
CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES MATURE HT 40' +/-	NS	3	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE SOUR GUM	3" CAL.	B&B
	QP	10	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	3" CAL.	B&B
	UP	2	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	3" CAL.	B&B
ORNAMENTAL TREES MATURE HT. 15' +/-	CF	4	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	3" CAL.	B&B
	MR	6	MALUS 'RED JEWEL'	RED JEWEL CRABAPPLE	3" CAL.	B&B
	PSP	3	PRUNUS SARGENTII 'PINK FLAIR'	PINK FLAIR SARGENT CHERRY	3" CAL.	B&B
	PS	7	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	3" CAL.	B&B
EVERGREEN TREES MATURE HT 20' +/-	IO	3	ILEX OPACA 'MISS HELEN'	MISS HELEN AMERICAN HOLLY	6'-8' HT.	B&B
	PP	2	PICEA PUNGENS 'FAT ALBERT'	FAT ALBERT SPRUCE	6'-8' HT.	B&B
	TP	11	THUJA PLICATUM 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6'-8' HT.	B&B
SHRUB MATURE HT 2-15' +/-	CB	10	CALLICARPA BODINIERI 'PROFUSION'	PROFUSION BEAUTYBERRY	3 GAL.	CONT.
	CA	18	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET CLETHRA	3 GAL.	CONT.
	DG	25	DEUTZIA GRACILIS 'YUKI SNOWFLAKE'	YUKI SNOWFLAKE DEUTZIA	3 GAL.	CONT.
	HA	13	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	3 GAL.	CONT.
	HP	21	HYDRANGEA PANICULATA 'LIMELIGHT PRIME'	LIMELIGHT PRIME HYDRANGEA	3 GAL.	CONT.
	IMB	2	ILEX MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	30" - 36" HT.	CONT.
	IM	7	ILEX MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	4'-5' HT.	CONT.
	SV	2	SYRINGA VULGARIS 'WEDGEWOOD BLUE'	WEDGEWOOD BLUE LILAC	6 GAL.	CONT.
	Ag	14	ANDROPOGON GERARDII 'RED OCTOBER'	RED OCTOBER BIG BLUESTEM	1 GAL.	CONT.
	Ed	18	EUPATORIUM DUBIUM 'BABY JOE'	BABY JOE PYE WEED	1 GAL.	CONT.
Pa	48	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.	CONT.	
Pil	41	PEROVSKIA ATRIPLICIFOLIA 'LONGIN'	LONGIN RUSSIAN SAGE	1 GAL.	CONT.	
Vm	18	VINCA MINOR	PERIWINKEL	24/FLATS		



DECIDUOUS TREE PLANTING
 N.T.S.



EVERGREEN TREE PLANTING
 N.T.S.



SHRUB PLANTING
 N.T.S.

SEE PLANS PREPARED BY BENJAMIN V. DOTO III, P.E., LLC FOR ALL DETAILED SITE LAYOUT, GRADING AND UTILITIES, ETC.

- NOTE:**
- BASE INFORMATION TAKEN FROM A MAP TITLED "PARKING IMPROVEMENT SITE PLAN", PREPARED BY BENJAMIN V. DOTO III, P.E., LLC, DATED DECEMBER 27, 2023.
 - THIS SITE IS ZONED R-44

3.01.24 ISSUE FOR PERMITTING
 DATE: REVISION:

A2 LAND CONSULTING, PLLC
 30 Rocky Hill Rd.
 New Fairfield, CT

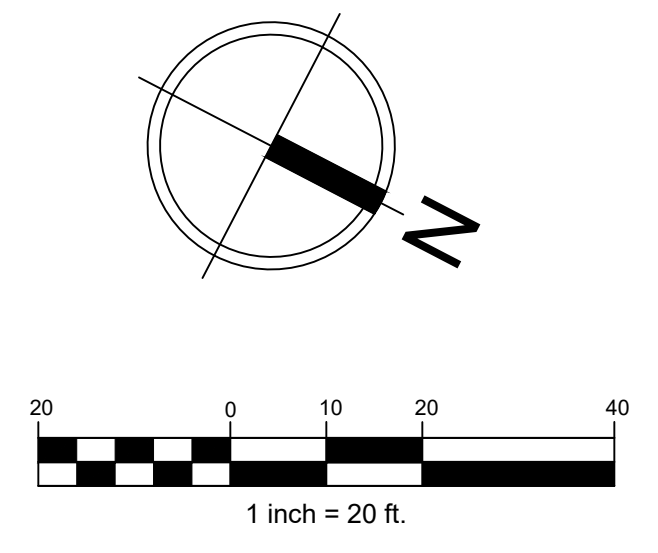
P: 845.531.1504
 E: abigail@a2land.com
 W: www.a2land.com

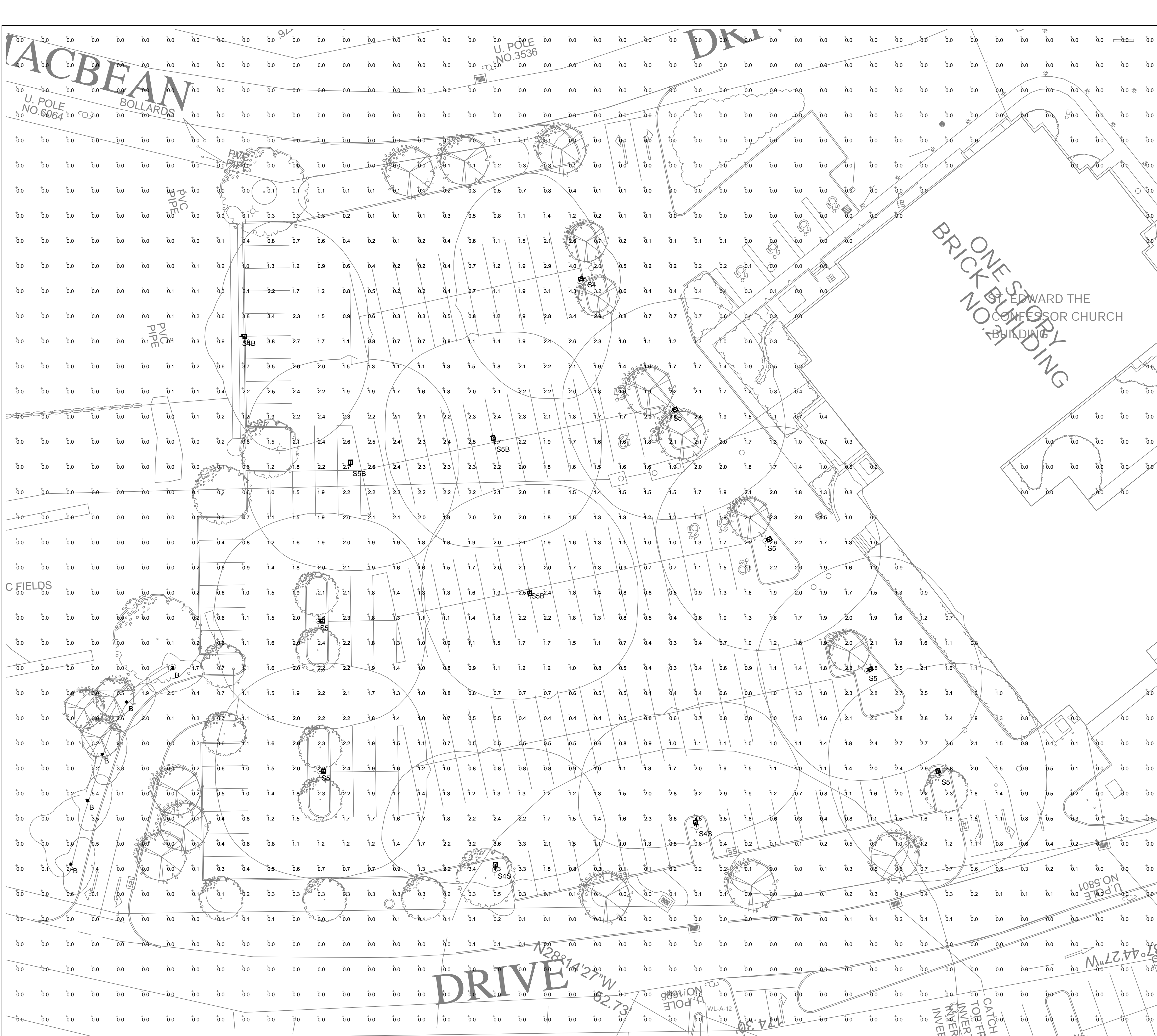
**PARKING & STORMWATER
 IMPROVEMENT PLANS
 PLANTING ENLARGEMENT 2 &
 NOTES & DETAILS**

PREPARED FOR
**ST. EDWARD THE
 CONFESSOR
 CHURCH**

21 BRUSH HILL ROAD
 NEW FAIRFIELD, CT

DATE: 1.4.24
 SCALE: 1" = 20'
 PROJ #: 1926
 DWG FILE: 1926LA
 SHEET: L-102





JOB NAME: ST EDWARDS CHURCH - NEW FAIRFIELD, CT
 APEX LIGHTING SOLUTIONS
 WORKPLANE/CALC PLANE: AT FINISH GRADE
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
 APPS: LED
 SALES: SP
 SPECIFIER: A2 CONSULTING

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
5	B	Single	965	10.6	0.873	B0-U0-G0	GARDCO PBL-42-14L-200-WW-G2-3-UNV-FINISH
1	S4	Single	9083	80	0.900	B2-U0-G2	GARDCO GL18-4-80LA-4853-WW-UNV-FINISH / MOUNTED TO SSA-CA-4-125-18-D1-DT2-FINISH
1	S4B	Single	9083	80	0.900	B2-U0-G2	GARDCO GL18-4-80LA-4853-WW-UNV-FINISH / MOUNTED TO SSA-CA-4-125-16-D1-DT2-FINISH ON TOP OF 2FT CONCRETE FOUNDATION
2	S4S	Single	7868	80	0.900	B1-U1-G2	GARDCO GL18-4-80LA-4853-WW-UNV-FINISH / MOUNTED TO SSA-CA-4-125-18-D1-DT2-FINISH
6	S5	Single	9555	80	0.900	B3-U0-G2	GARDCO GL18-5-80LA-4853-WW-UNV-FINISH / MOUNTED TO SSA-CA-4-125-18-D1-DT2-FINISH
3	S5B	Single	9555	80	0.900	B3-U0-G2	GARDCO GL18-5-80LA-4853-WW-UNV-FINISH / MOUNTED TO SSA-CA-4-125-16-D1-DT2-FINISH ON TOP OF 2FT CONCRETE FOUNDATION

Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
PARKING & DRIVE LANES	0	1.43	4.5	0.0	N.A.	N.A.
SITE	0	0.19	5.4	0.0	N.A.	N.A.

GENERAL DISCLAIMER:
 Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.
 * LLF Determined Using Current Published Lamp Data

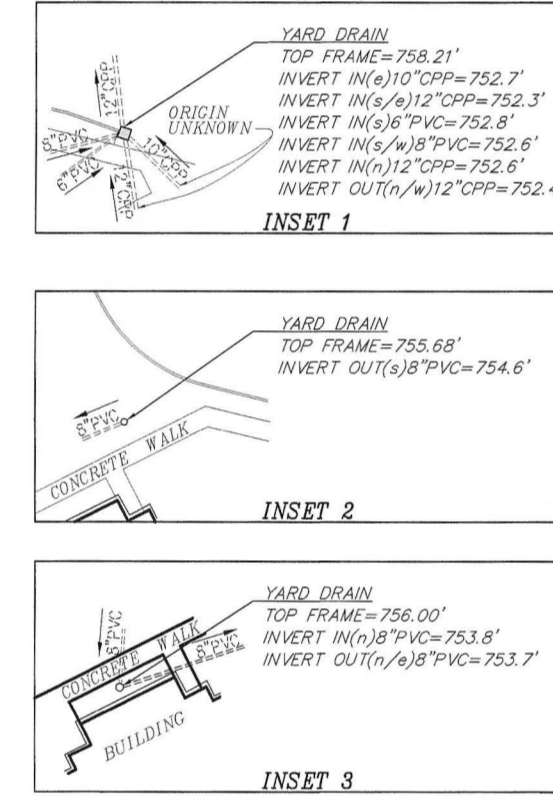
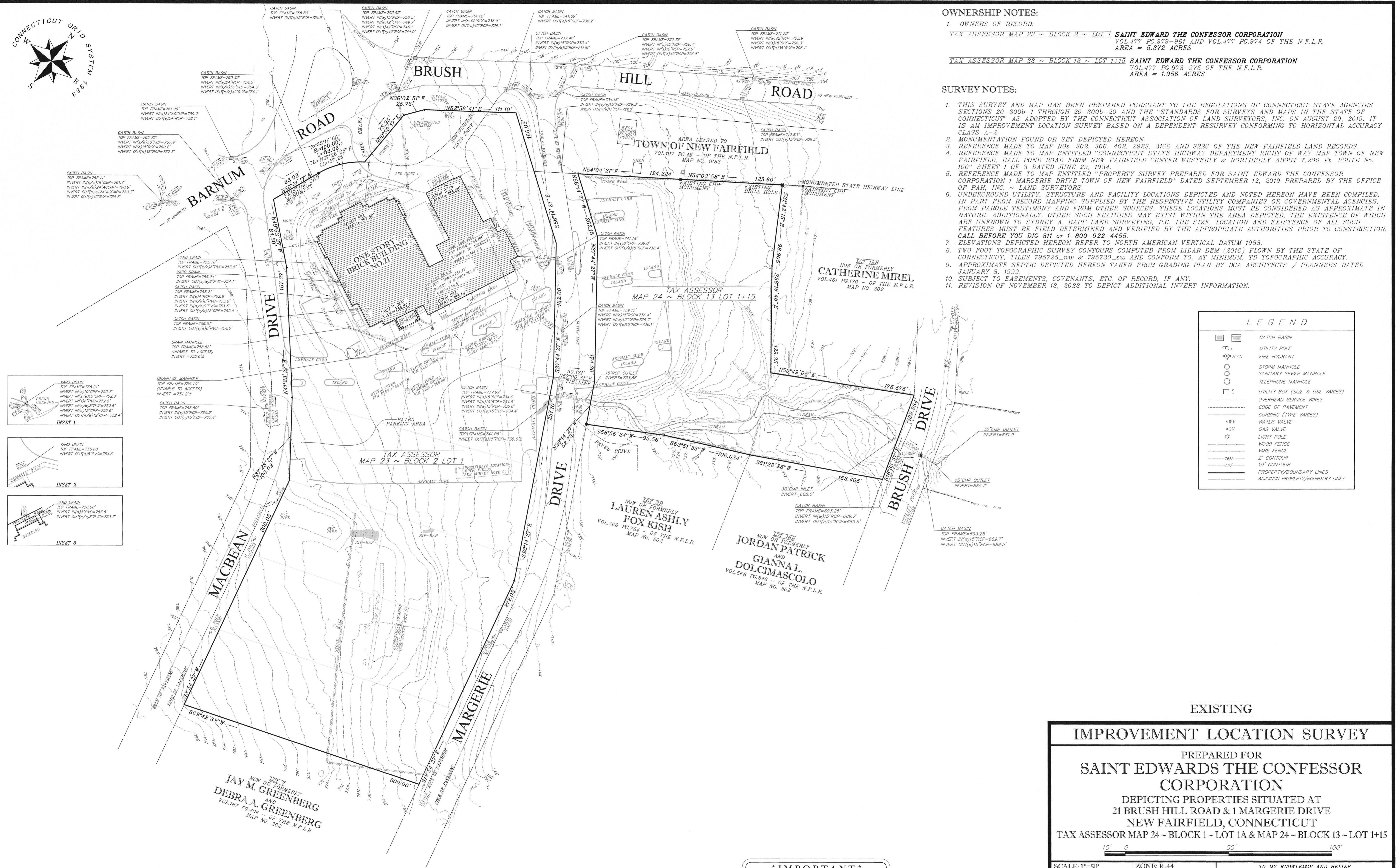
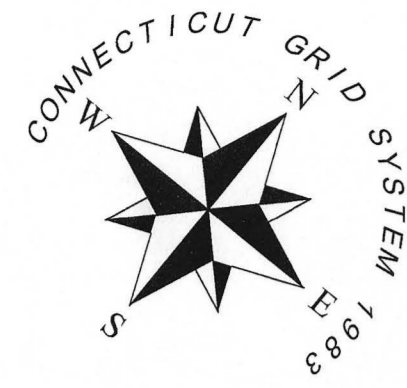
NOTE TO REVIEWER:
 Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
 For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.



PROJECT TITLE:
 ST EDWARDS CHURCH
 NEW FAIRFIELD, CT

DRAWING TITLE:
 SITE LIGHTING
 PHOTOMETRIC CALCULATION

SCALE: 1"=20'-0"
 DATE: 2/22/24
 DRAWN BY: LED
 SHEET:
SL-1A



OWNERSHIP NOTES:

- 1. OWNERS OF RECORD:
 TAX ASSESSOR MAP 23 ~ BLOCK 2 ~ LOT 1 **SAINT EDWARD THE CONFESSOR CORPORATION**
 VOL.477 PG.979-981 AND VOL.477 PG.974 OF THE N.F.L.R.
 AREA = 5.372 ACRES
 TAX ASSESSOR MAP 23 ~ BLOCK 13 ~ LOT 1+15 **SAINT EDWARD THE CONFESSOR CORPORATION**
 VOL.477 PG.973-975 OF THE N.F.L.R.
 AREA = 1.966 ACRES

SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
2. MONUMENTATION FOUND OR SET DEPICTED HEREON.
3. REFERENCE MADE TO MAP NOS. 302, 306, 402, 2923, 3166 AND 3226 OF THE NEW FAIRFIELD LAND RECORDS.
4. REFERENCE MADE TO MAP ENTITLED "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF NEW FAIRFIELD, BALL POND ROAD FROM NEW FAIRFIELD CENTER WESTERLY & NORTHERLY ABOUT 7,200 FT. ROUTE No. 100" SHEET 1 OF 3 DATED JUNE 29, 1934.
5. REFERENCE MADE TO MAP ENTITLED "PROPERTY SURVEY PREPARED FOR SAINT EDWARD THE CONFESSOR CORPORATION 1 MARGERIE DRIVE TOWN OF NEW FAIRFIELD" DATED SEPTEMBER 12, 2019 PREPARED BY THE OFFICE OF PAH, INC. ~ LAND SURVEYORS.
6. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST WITHIN THE AREA DEPICTED, THE EXISTENCE OF WHICH ARE UNKNOWN TO SYDNEY A. RAPP LAND SURVEYING, P.C. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 811 or 1-800-922-4455.
7. ELEVATIONS DEPICTED HEREON REFER TO NORTH AMERICAN VERTICAL DATUM 1988.
8. TWO FOOT TOPOGRAPHIC SURVEY CONTOURS COMPUTED FROM LIDAR DEM (2016) FLOWN BY THE STATE OF CONNECTICUT, TILES 795725_nw & 795730_sw AND CONFORM TO, AT MINIMUM, TD TOPOGRAPHIC ACCURACY.
9. APPROXIMATE SEPTIC DEPICTED HEREON TAKEN FROM GRADING PLAN BY DCA ARCHITECTS / PLANNERS DATED JANUARY 8, 1999.
10. SUBJECT TO EASEMENTS, COVENANTS, ETC. OF RECORD, IF ANY.
11. REVISION OF NOVEMBER 13, 2023 TO DEPICT ADDITIONAL INVERT INFORMATION.

LEGEND

	CATCH BASIN
	UTILITY POLE
	FIRE HYDRANT
	STORM MANHOLE
	SANITARY SEWER MANHOLE
	TELEPHONE MANHOLE
	UTILITY BOX (SIZE & USE VARIES)
	OVERHEAD SERVICE WIRES
	EDGE OF PAVEMENT
	CURBING (TYPE VARIES)
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	WOOD FENCE
	WIRE FENCE
	2' CONTOUR
	10' CONTOUR
	PROPERTY/BOUNDARY LINES
	ADJOINING PROPERTY/BOUNDARY LINES

EXISTING

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
SAINT EDWARDS THE CONFESSOR CORPORATION
 DEPICTING PROPERTIES SITUATED AT
 21 BRUSH HILL ROAD & 1 MARGERIE DRIVE
 NEW FAIRFIELD, CONNECTICUT
 TAX ASSESSOR MAP 24 ~ BLOCK 1 ~ LOT 1A & MAP 24 ~ BLOCK 13 ~ LOT 1+15

SCALE: 1"=50' ZONE: R-44
 AREA: 7.328 ACRES (TOT) DATE: SEPTEMBER 11, 2023
 DRAWING NAME: 23389-115 REVISED: NOV. 13, 2023

TO MY KNOWLEDGE AND BELIEF
 THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Sydney A. Rapp Land Surveying, P.C.
 30 Lindencroft Drive, Danbury, Connecticut 06811
 1-B Grand Street, Bethel, Connecticut 06801
 email: maps@rappandsurveying.com - Phone: (203)744-6261

ZACHARY S. RAPP, P.E. LICENSE NO. 70420
 NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL

*** IMPORTANT ***
 LOCATION OF UNDERGROUND UTILITIES DEPICTED HEREON ARE APPROXIMATE. NO WARRANTY FOR EXACTNESS OF LOCATION MADE. PRIOR TO ANY CONSTRUCTION OR EXCAVATION CONTACT "CALL BEFORE YOU DIG" 811 or 1(800)922-4455