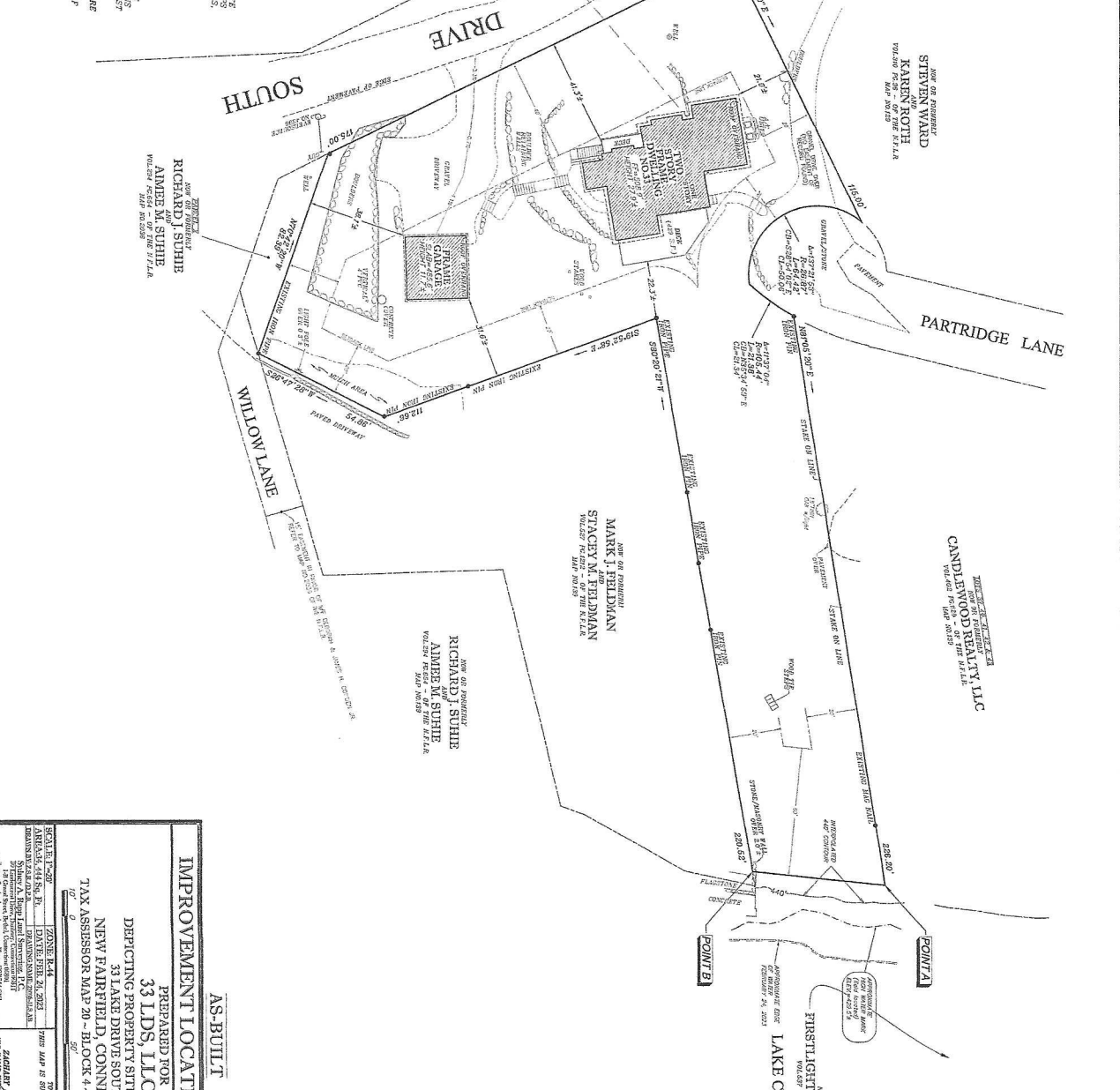


ZONING DATA - R-44 (SEC. 3-2.2A)	
GENERAL PROVISIONS	PERMITTED ASHULT
a. MINIMUM LOT AREA	54,000 Sq. Ft. 1244 Sq. Ft.
b. MINIMUM ROAD FRONTAGE	125.0
c. MINIMUM FRONT YARD	60.0
d. MINIMUM SIDE YARD	30.0
e. MINIMUM REAR YARD	30.0
f. MAXIMUM HEIGHT	35.0
g. MAXIMUM BUILDING AREA	100%
h. MAXIMUM IMPROVEMENTS	100%

**LEGEND**

- [Symbol] Chain Mark
- [Symbol] Utility Pole & C&G Utility
- [Symbol] Utility Pole & C&G Utility
- [Symbol] Proposed Street
- [Symbol] Easement
- [Symbol] Easement
- [Symbol] Easement
- [Symbol] Easement
- [Symbol] Easement

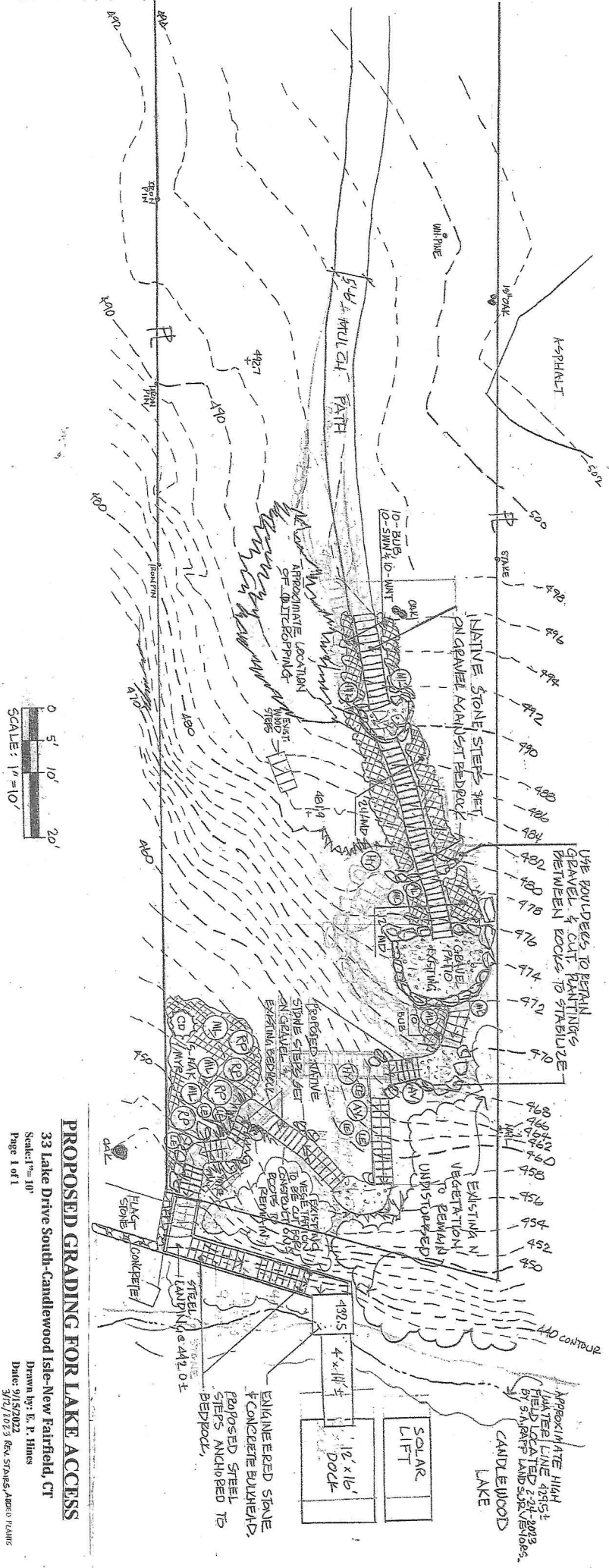
- OWNERSHIP NOTES:**
1. OWNERS OF RECORD: 29 LKS, LLC - VOL. 546 PC. 138-07 - OF THE N.P.L.R.
- SURVEY NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE STATUTES, TITLE 8-101, SECTION 36-18 AND 36-19 AS AMENDED AND THE REGULATIONS OF THE BOARD OF REGISTRY IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2018. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT SURVEY.
  2. MONUMENTATION FOUND ON SET OBJECTED HEREON.
  3. MONUMENTATION FOUND ON SET OBJECTED HEREON.
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  12. MONUMENTATION FOUND ON SET OBJECTED HEREON.



- AS-BUILT**
- IMPROVEMENT LOCATION SURVEY**
- PREPARED FOR  
**33 LKS, LLC**  
 DEPICTING PROPERTY SITUATED AT  
 31 LAKE DRIVE SOUTH  
 NEW FAIRFIELD, CONNECTICUT  
 TAX ASSESSOR MAP 20 - BLOCK 4 - LOTS 994-103-106
- DATE: JULY 23, 2023  
 TIME: 10:00 AM  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: 2023-07

Professional surveyor information including name, address, and contact details. Includes the seal of the Connecticut Board of Registry of Land Surveyors.

PLANT #	SYMBOL	COMMON NAME	SIZE	NOV
1	ASHLEAF	ASHLEAF	4"	100
2	DOGWOOD	DOGWOOD	4"	100
3	DOGWOOD	DOGWOOD	4"	100
4	DOGWOOD	DOGWOOD	4"	100
5	DOGWOOD	DOGWOOD	4"	100
6	DOGWOOD	DOGWOOD	4"	100
7	DOGWOOD	DOGWOOD	4"	100
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9	DOGWOOD	DOGWOOD	4"	100
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12	DOGWOOD	DOGWOOD	4"	100
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25	DOGWOOD	DOGWOOD	4"	100
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99	DOGWOOD	DOGWOOD	4"	100
100	DOGWOOD	DOGWOOD	4"	100



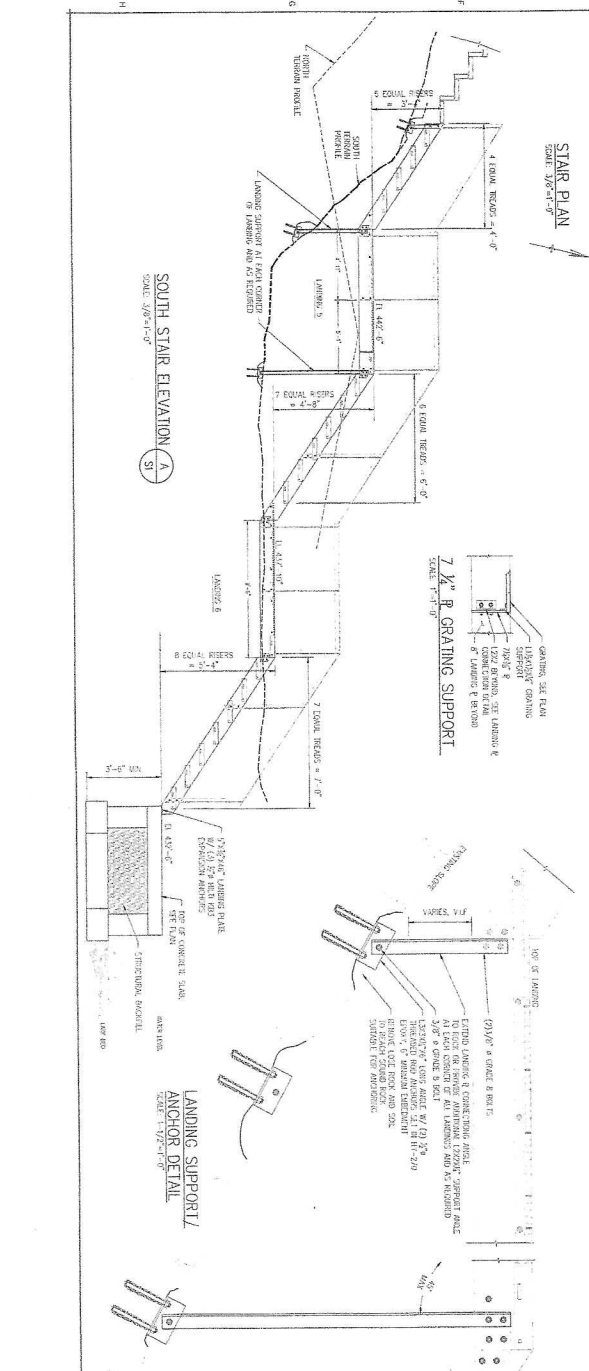
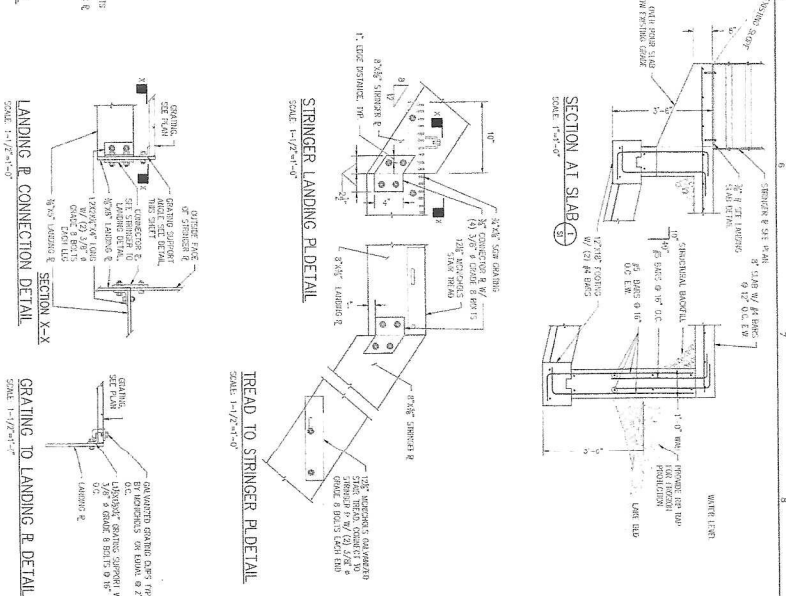
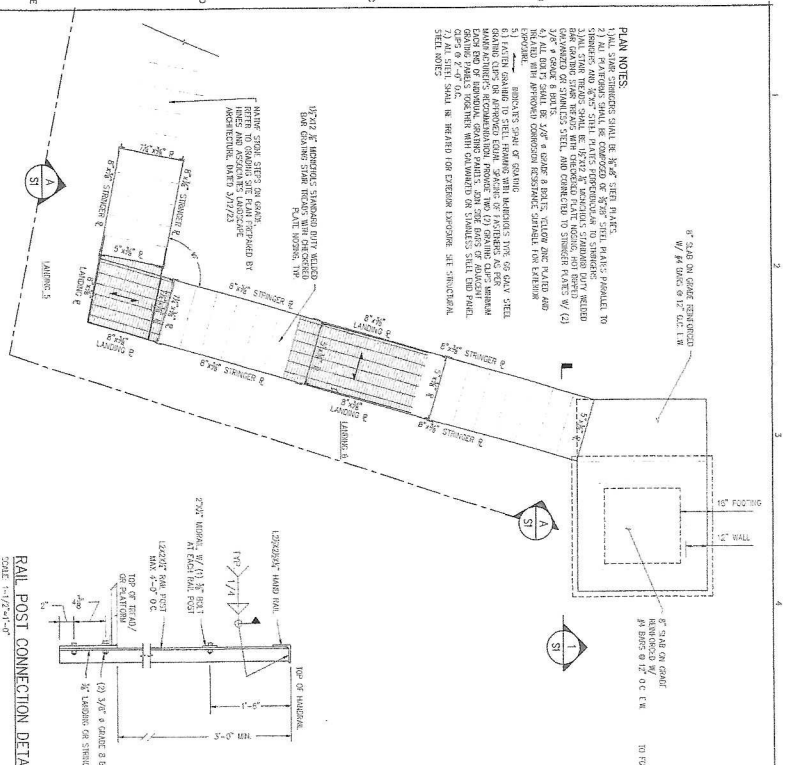
**PROPOSED GRADING FOR LAKE ACCESS**  
 33 Lake Drive South-New Fairfield, CT  
 Scale: 1/4" = 10'  
 Drawn by: E. P. Hines  
 Date: 9/15/2022  
 3/12/10/23 REV STAIRS, APPRO PLANS

**HINES & ASSOCIATES**  
 LANDSCAPE ARCHITECTURE  
 115 Pinnettes Road, Bethel, Connecticut 06801 • 203-744-1478

- NOTES:
- Site Plan is based on the Topographic Survey for 33 LUS, LLC for Property located at 33 Lake Drive South, New Fairfield CT. Prepared by Sydney A. Hupp Land Surveying PC, dated March 31, 2022.
  - Spot Elevation, Eas & O/R, services need to be located, owned and plans modified as may be needed to accommodate any discrepancies in compliance with Town of New Fairfield and all other State requirements.
  - Any drainage connections, Storm Water management and specifications must be specified prior to construction & calculated by licensed Civil Engineer. Refer to Site/Spec Plan by Michael J. Marazeco P.E., dated 9/9/21.
  - These landscape plans are conceptual in nature and further development of construction methods & materials may need to be specified and approved. Approval for permits from Town of New Fairfield or First Light Co. are not guaranteed by layout shown here.
  - CALL BEFORE U DIG must be contacted to locate & mark all utilities prior to any construction.
  - All construction to be done in compliance with local New Fairfield Building Regulations & Safety codes and guidelines.
  - Any work to be performed on First Light Co. lands or those shown below the 440 contour, need to be filed, and permitted prior to work commencing.
  - Hay bale barriers and silt fence protection shall be installed prior to any work, and maintained throughout all construction sequences until site soils are stabilized.

**PLAN NOTES:**

1. ALL STAIR STRUCTURES SHALL BE 3/4" STEEL I-BEAMS.
2. ALL STAIR STRUCTURES SHALL BE 1/2" X 1/2" X 1/2" STEEL PLATE.
3. ALL STAIR STRUCTURES SHALL BE 1/2" X 1/2" X 1/2" STEEL PLATE.
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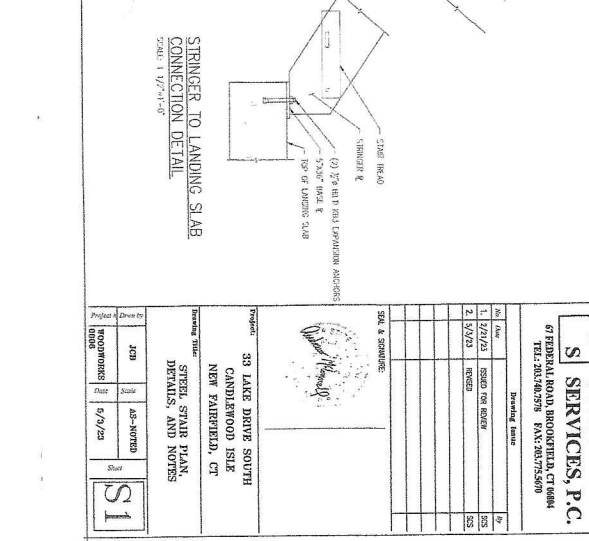


**GENERAL NOTES:**

1. ALL CONNECTIONS SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR THE SPECIFIC PRODUCT.
2. ALL CONNECTIONS SHALL BE WELDED.
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**CONCRETE NOTES:**

1. ALL CONCRETE SHALL BE 3000 PSI.
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11. ALL CONCRETE SHALL BE 3000 PSI.



**STRUCTURAL ENGINEER:**

**SC & SOURCE:**

**PROJECT:** 533 LAKE DRIVE SOUTH  
CANDLEWOOD ISLE  
NEW FAIRFIELD, CT

**DESIGNED BY:** S1

**CHECKED BY:** S1

**DATE:** 5/2/23

**PROJECT NO.:** S1

**SCALE:** 1/4" = 1'-0"

**REVISIONS:**

NO.	DATE	DESCRIPTION
1.	1/2/23	ISSUED FOR REVIEW
2.	5/2/23	REVISION

**67 FEDERAL ROAD BOSTONIA, CT 06106**  
TEL: 203-261-8776 FAX: 203-261-5700

**S C STRUCTURAL CONSULTING SERVICES, P.C.**