



New Fairfield Zoning Commission

4 Brush Hill Road
New Fairfield, CT 06812
203-312-5648 Fax 203-312-5608

ZBA Requirement Checklist (All applications must be submitted before **ZEO APPLICATION DEADLINE** under New Fairfield Zoning Board of Appeals- 2023 Regular Meeting Schedule).

- 1* -10 Copies of your Architectural Plans (Including- Elevations Existing and Proposed & Floor Plans Existing & Proposed with all dimensions 11"x17" size paper).
- 1* -10 Copies of your A-2 Class Property Survey Showing Existing & Proposed Footprint, as Well as Proposed Setback Distances to Property Lines. (1 Copy Must Be to Full Scale, ~~9 Copies 11"x17" size paper~~).
- 1 Application Completed (Signed & Dated By Both Applicant & Property Owner).
- 1 Check Made Out to the Town of New Fairfield ~~\$230.00~~ **\$460⁰⁰**
- 1 E-File: (1 Application, 1 Plan, 1 Survey-emailed to ewhite@newfairfield.org).

ZONING COMMISSION
Town of New Fairfield
(203)312-5646 Fax: (302)312-3508



SPECIAL PERMIT APPLICATION

Application Number _____

Map: 22 Block: 7 Lot: 34

Zoning District: R88

Please type or print:

Date: 11/28/23

Applicant: Caren Carpenter

Mailing Address: 2 Elwell Rd., New Fairfield, CT 06812

Project Address: 36 Ball Pond Rd. East

Phone No: 203-648-0375

Owner(s) of Record: Naomi Nafziger

Address: 36 Ball Pond Rd. East

Phone No: 203 997-3202

Application is hereby made for Special Permit per Section 8.2 pursuant to the following Sections(s) of the Zoning Regulations:

3.1.2. Special Permit k. Accessory Apartment

For the following purpose: The property has an approved 2 family dwelling (June 8, 1983) attached to primary residence. They would like to eliminate the attached secondary living & relocate it to above the detached garage

In compliance with the requirements of the Zoning Regulations, I am hereby submitting the fee, plans, documents, and additional information as required.

Fee of \$460.00* as specified in Section 10.1.2C (\$200.00 application, \$60.00 State Surcharge and \$200.00 Two Legal Notice for Public Hearing and Results of Application Advertised in Newspaper).

Letter of authorization from property owner stating an agent may apply for permit. Signature on letter must be original, not copied, facsimile or e-mail.



(✓) Two (2) copies total which should consist of site plans including a A-2 SURVEY by a CT Land surveyor with existing and proposed percentage of impervious surfaces together with existing proposed site improvements including building, parking landscape access and egress, and **proposed signage**. A-2 survey shall be drawn at a scale of at least 1" = 50', and shall be on sheets either 36"x24" (check regulations for further details). See Zoning Official for additional requirements needed based upon applicant's proposal and use such as a required engineered site plan, architectural design, engineered traffic plan and design, etc.

(✓) ~~Eight~~ (8) 11"x17" copies total which should consist of site plans including a A-2 SURVEY by a CT Land surveyor with existing and proposed percentage of impervious surfaces together with existing proposed site improvements including building, parking landscape access and egress, and **proposed signage**.

() Report from Health Department on adequacy of sewage disposal system and water supply. **Applicant to write letter requesting such report. Complete description to be included.**

() Proposed use(s) – written statement describing in detail proposed uses(s).

() Traffic Study – Ten (10) copies if development anticipates the generation of more than one hundred (100) vehicular trips per day.

() Report(s) from other Town Agencies (if required) as follows:

- () Fire Marshal
- () Inland Wetland Commission
- () Zoning Enforcement Officer
- () Other Agency (please specify) _____
- () Copy of additional information as follows: _____
- () Town Engineer
- () CT Department of Transportation
- () Water Supply Committee

Applicant to write letter requesting such report. Complete description of project to be included.

() Attach a list with the names and addresses of all adjacent property owners including those across any adjacent roadways. Submit proof that all such neighbors have been notified of this proposed activity. These letters shall be sent **CERTIFIED MAIL with RETURN RECEIPT**. A copy of the letter sent, certified mail receipt, and return receipt shall be submitted to the Commission 48 hours prior to the Public Hearing. (See page 3).

() If you wish to hire an agent or an authorized permit expeditor to go forward with your application, site plan, or special permit include a signed authorization letter from the property owner with a live signature.

 Signature of Owner (date)

 Signature of Applicant (date)

***Fee does not include Zoning Permit Fee (issues by Zoning Enforcement Officer, if required.**

For Office Use Only



This Application Complies with the requirements of the Zoning Regulations.

This Application Does Not Comply with the requirements of the Zoning Regulations.

Application Complete: _____ Yes _____ No

The application fails to comply as follows: _____

Comments: _____

Reviewed by Zoning Enforcement Officer _____ Date _____

Date of Receipt by Zoning Commission: _____

Date of Scheduled Public Hearing: _____

Date of Commission Action: _____ Legal Notice Published: _____

Application Approved

Application Denied

Application Approved & Modified

Conditions: _____

Abutters

Parcel ID	Owner	Mailing Address	Mailing City	Mailing State	Mailing Zip	Address
445450	ALVITI ERIC P & PAULETTE R	5 MEADOW RIDGE DR	NEW FAIRFIELD	CT	6812	5 MEADOW RIDGE DR
571800	CLARK KENNETH A & MARGARET A	15 SUNSWEPT DR	NEW FAIRFIELD	CT	6812	15 SUNSWEPT DR
593400	DAUTI ARDITA	6 WELDON WOODS RD	NEW FAIRFIELD	CT	6812	6 WELDON WOODS RD
593800	DUSHI EDVINA & GENTIAN	10 WELDON WOODS RD	NEW FAIRFIELD	CT	6812	10 WELDON WOODS RD
593200	HANLEY SEAN C & JESSICA L	4 WELDON WOODS RD	NEW FAIRFIELD	CT	6812	4 WELDON WOODS RD
266200	HARRIS MAURA M & TODD S	7 HUNTINGTON LN	NEW FAIRFIELD	CT	6812	7 HUNTINGTON LN
571600	HLAVENKA JUDITH A & RICHARD A TRUSTEE	13 SUNSWEPT DR	NEW FAIRFIELD	CT	6812	13 SUNSWEPT DR
39700	NAFZIGER NAOMI	36 BALL POND RD E	NEW FAIRFIELD	CT	6812	36 BALL POND RD E
40500	NEW FAIRFIELD LAND TRUST INC	4 BRUSH HILL RD	NEW FAIRFIELD	CT	6812	47 BALL POND RD E
445470	SARNELLI ROBERT J SR & KIMBERLY A	8 MEADOW RIDGE DR	NEW FAIRFIELD	CT	6812	8 MEADOW RIDGE DR
266400	SCHWARZ ERIC A & TIFFANY M	9 HUNTINGTON LN	NEW FAIRFIELD	CT	6812	9 HUNTINGTON LN
40000	TRAUBEN JONATHAN D & CHRISTINE E	40 BALL POND RD E	NEW FAIRFIELD	CT	6812	40 BALL POND RD E
40400	TYNER RICHARD & JENNIFER J	45 BALL POND RD E	NEW FAIRFIELD	CT	6812	45 BALL POND RD E
39400	VARVARO ANTHONY M & KARIN D CO-TRUSTEES	32 BALL POND RD E	NEW FAIRFIELD	CT	6812	32 BALL POND RD E
40200	WALKER RAYMOND J & MELISSA E	42 BALL POND RD E	NEW FAIRFIELD	CT	6812	42 BALL POND RD E
593000	WALONOSKI JOSEPH & VIRGINIA	PO BOX 8459	NEW FAIRFIELD	CT	6812	2 WELDON WOODS RD

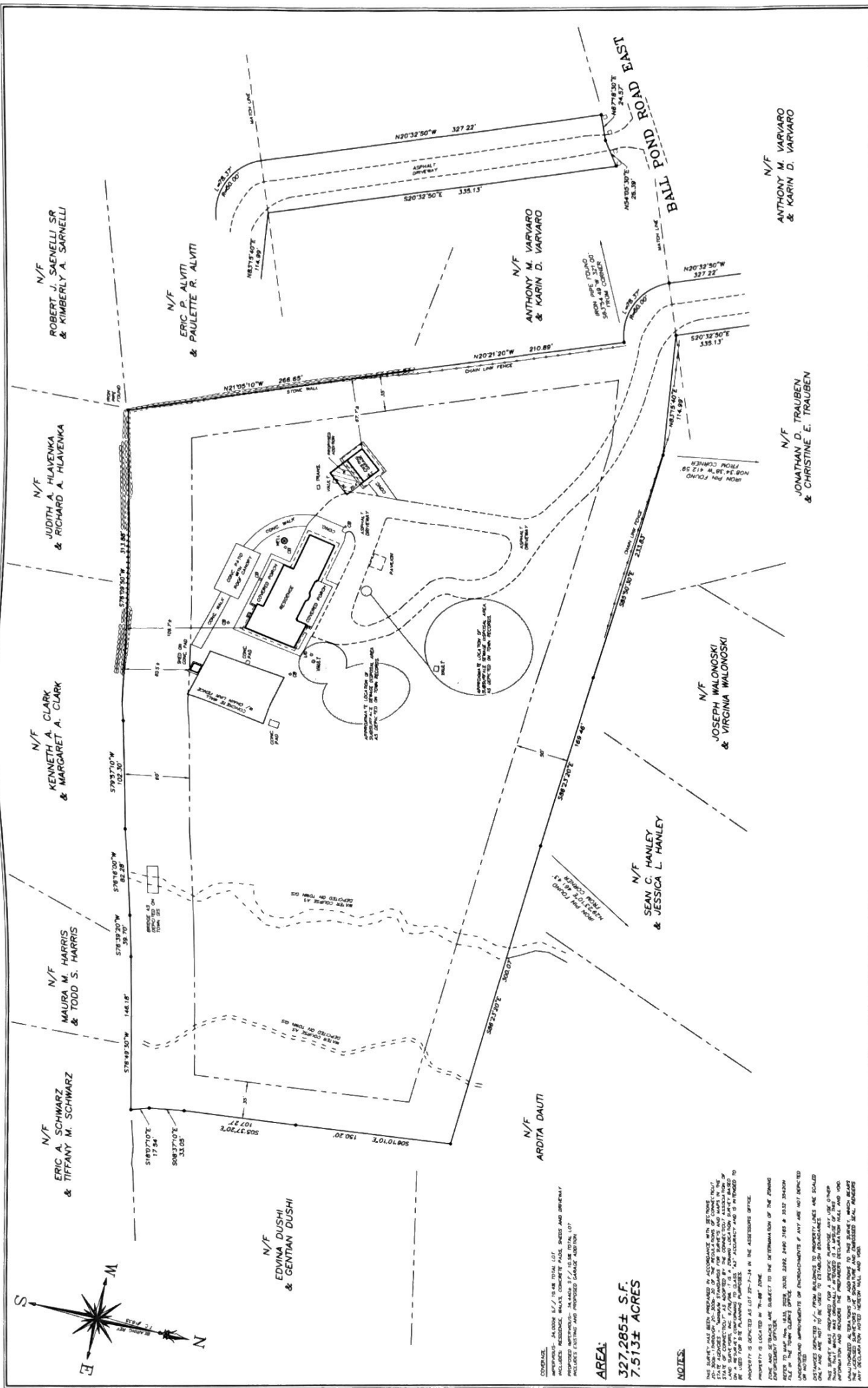
Naomi Nafziger
36 Ball Pond Road, East.
New Fairfield . CT 06812.

Re: Agent Authorization.

The Undersigned, registered Property Owner of the above noted Property, do hereby Authorize Caren Carpenter, Registered Architect, of 2 Elwell Road, New Fairfield, Ct 06812, to Act on my behalf and take all actions necessary for the preparation and submission of a Variance application to the Zoning Board of Appeals of New Fairfield, Connecticut, including , but not limited to, working with a surveyor to finalize lot maps.

Naomi Nafziger

Date: September 18th 2023.



ZONING LOCATION SURVEY
PREPARED FOR
NAOMI NAFZIGER
36 BALL POND ROAD EAST
NEW FAIRFIELD, CONNECTICUT

JOB NO. 5432007-01	SCALE 1" = 40'	DRAWN BY: SWM	CHECKED BY: DMG
FIELD NOTES: 2/17/04	DATE: 10/25/2023		

TO MY KNOWLEDGE AND BELIEF THE SURVEY AND MAP ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR THE LOCATION OF ANY UNLAWFUL STRUCTURES OR FOR THE LOCATION OF ANY UNLAWFUL UTILITIES.

NOT A TRUE SCALE

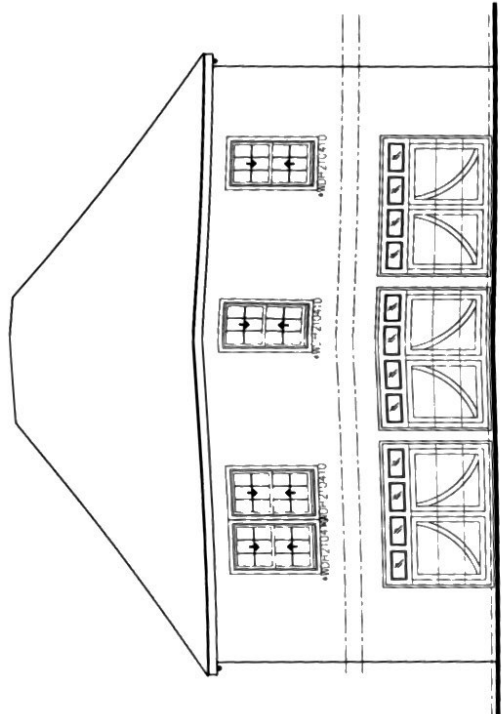
BRAUTIGAM LAND SURVEYORS, P. C.
30 South Main Street
New Fairfield, CT 06470
Telephone (203) 270-7800
E-mail Surveying@brautigamland.com

CONVEYANCE:
INCLUDES RESIDENCES, BATHS, CONCRETE PAVES, SWIMS AND DRIVEWAYS.
INCLUDES UTILITIES--WATER, SEWER, GAS, ETC. 1/4" = 10.00" TOTAL LOT
INCLUDES EXISTING AND PROPOSED GARAGE ADJUSTION

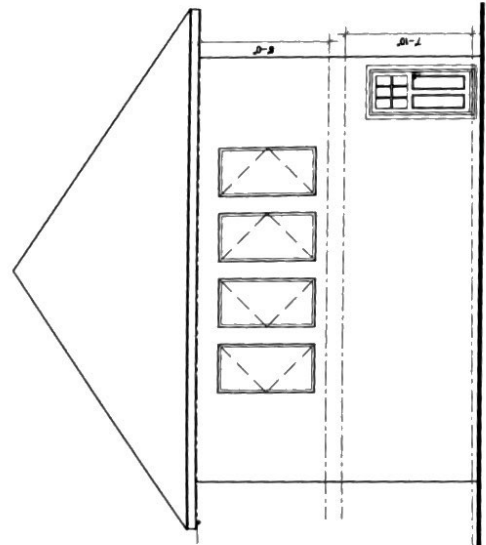
AREA:
327,285 ± S.F.
7.513 ± ACRES

NOTES:

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH STATE REQUIREMENTS FOR SURVEYS OF THIS TYPE AND THE SURVEYOR HAS EXERCISED REASONABLE CARE AND DILIGENCE IN THE PERFORMANCE OF HIS/DHER DUTY AND THE ACCURACY OF THIS SURVEY IS GUARANTEED TO THE EXTENT PERMITTED BY LAW.
PROPERTY IS LOCATED AS LOT 27-24 IN THE ASTORVILLE OFFICE.
PROPERTY IS LOCATED IN 70-80' ZONE.
ZONING AND ZONING LAW SUBJECT TO THE DETERMINATION OF THE ZONING DEPARTMENT OFFICER.
UNDEVELOPED IMPROVEMENTS OF ENCROACHMENTS IF ANY ARE NOT REPORTED TO THE ZONING DEPARTMENT OFFICER.
DISTANCES INDICATED 1/4" FROM BOUNDARIES TO PROPERTY LINES ARE SCALED TO THE PROPERTY LINES AND NOT TO THE CENTER OF THE PROPERTY.
THIS SURVEY AND THE PREPARED DECLARATION HAS BEEN FILED WITH THE DEPARTMENT OF CONSTRUCTION AND RECORDS AND IS AVAILABLE FOR PUBLIC INSPECTION AT THE DEPARTMENT OF CONSTRUCTION AND RECORDS.
ANY DECLARATION NOTED HEREON SHALL BE VOID.



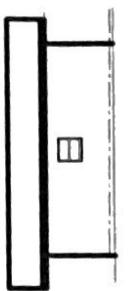
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



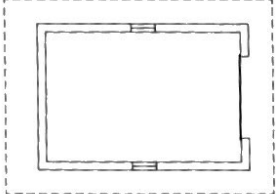
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



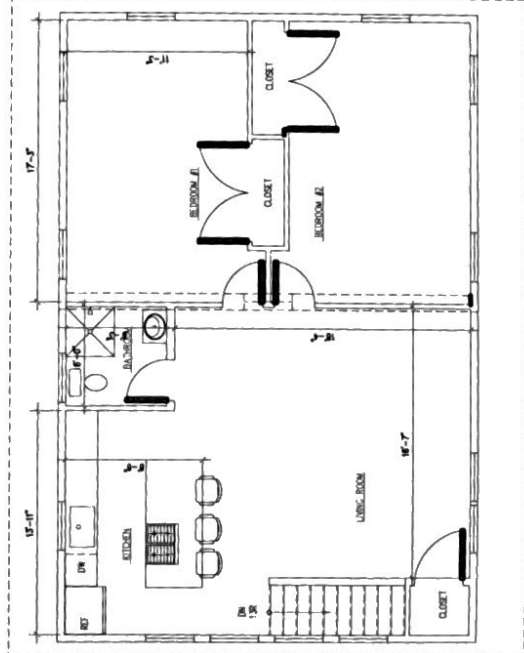
EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



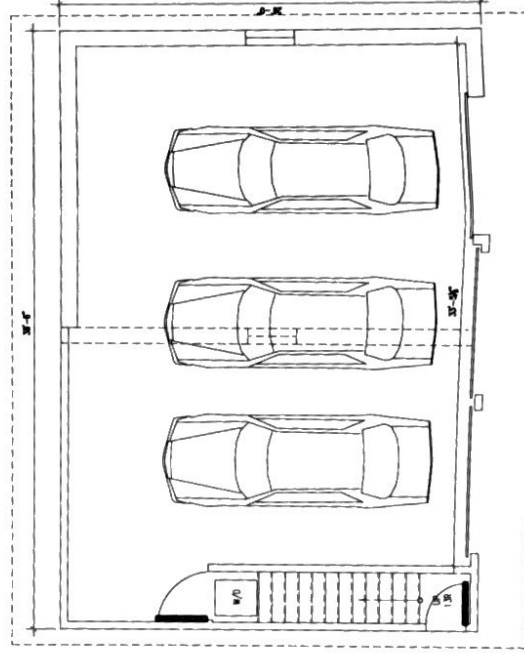
EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



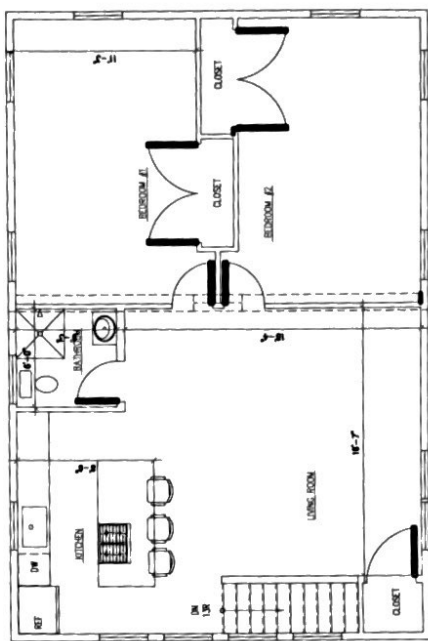
EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROPOSED GARAGE FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



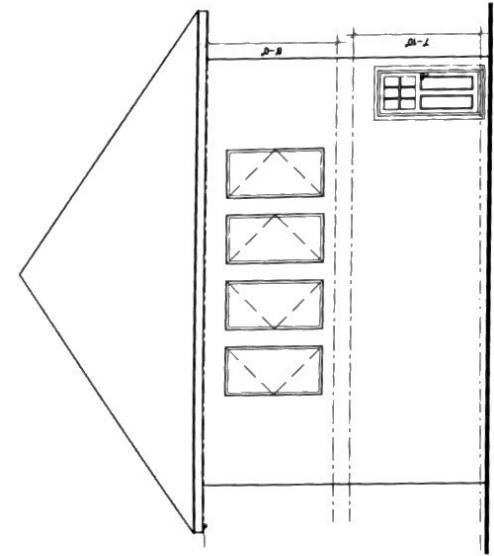
PROPOSED GARAGE SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



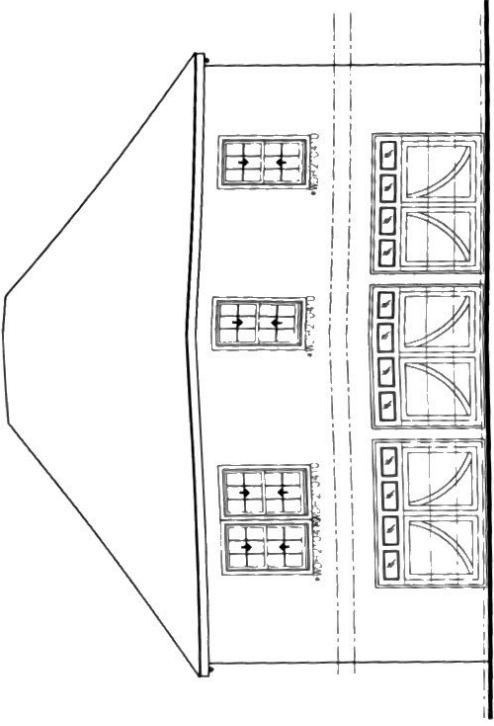
PROPOSED GARAGE SECOND FLOOR PLAN ELECTRICAL
SCALE: 1/4" = 1'-0"



ISSUE DATES: 	APRILION'S ALLEGATION, INC. NAI ZIGER FAMILY 14 BALL POND ROAD EAST, NEW FAIRFIELD, CT 06412	DRAWN BY: CHECKED BY: DRAWING NO.:
	CAREN CARPENTER ARCHITECT 115 WELLS ROAD, NEW FAIRFIELD, CT 06412 TEL: 203.464.4475 EMAIL: carncarpenter@comcast.com	GARAGE FLOOR PLAN & DETAILS SCALE: AS NOTED



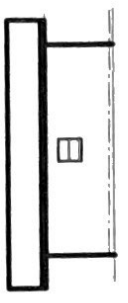
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



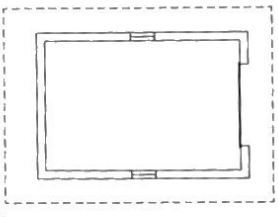
PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"



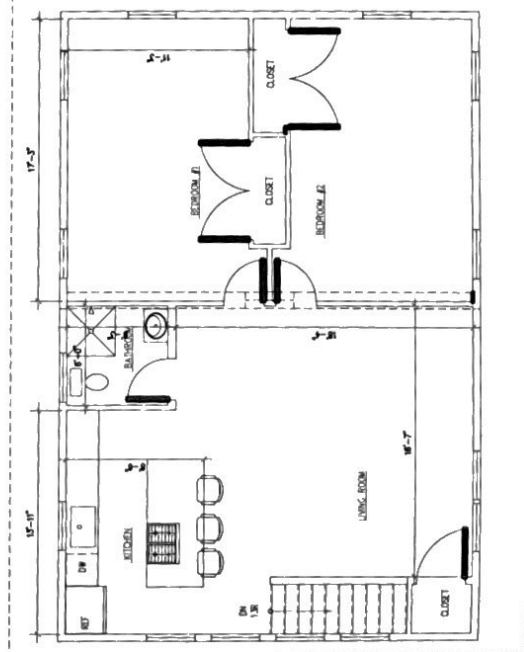
EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



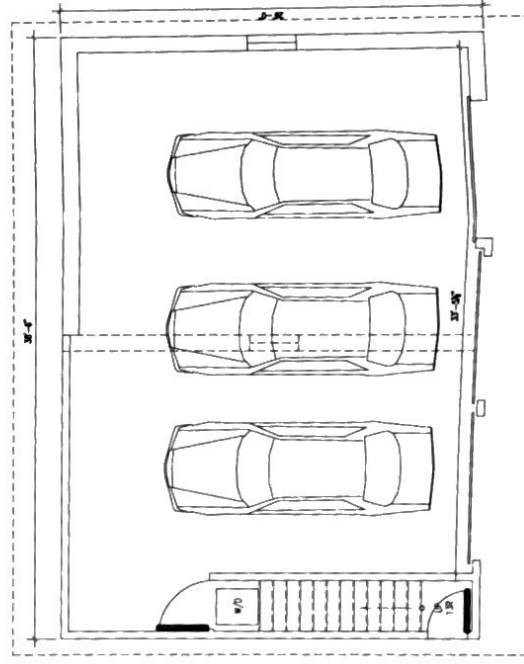
EXISTING EAST ELEVATION
SCALE 1/8" = 1'-0"



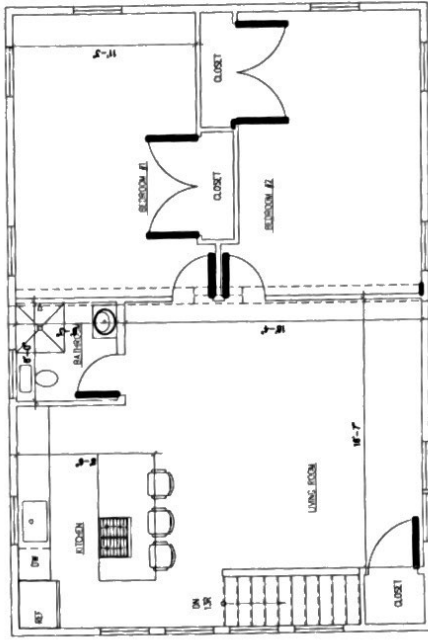
EXISTING BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"



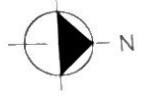
PROPOSED GARAGE FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PROPOSED GARAGE SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



PROPOSED GARAGE SECOND FLOOR PLAN ELECTRICAL
SCALE 1/4" = 1'-0"



<p>CAREN CARPENTER ARCHITECT</p>	<p>ADDRESS & ALLOCATION, INC. NAYZIGER FAMILY GARAGE FLOOR PLAN & DETAILS SCALE AS NOTED</p>	<p>DATE: 01/11/2012 DRAWN BY: [blank] CHECKED BY: [blank] DRAWING NO. A-2</p>
	<p>CAREN CARPENTER ARCHITECT 310 HILL ROAD, NEW FAIRFIELD, CT 06423 TEL: (860) 344-6475 EMAIL: carencarpenter@gmail.com</p>	



N/F ERIC A. SCHWARZ & TIFFANY M. SCHWARZ
 N/F MAURA M. HARRIS & TODD S. HARRIS
 N/F KENNETH A. CLARK & MARGARET A. CLARK
 N/F JUDITH A. HLAVENKA & RICHARD A. HLAVENKA
 N/F ROBERT J. SAENELLI SR & KIMBERLY A. SARNELLI

N/F EDVINA DUSHI & GENTIAN DUSHI

N/F ERIC P. ALVITI & PAULETTE R. ALVITI

N/F ARDITA DAUTI

N/F ANTHONY M. VARVARO & KARIN D. VARVARO

N/F SEAN C. HANLEY & JESSICA L. HANLEY

N/F JOSEPH WALONOSKI & VIRGINIA WALONOSKI

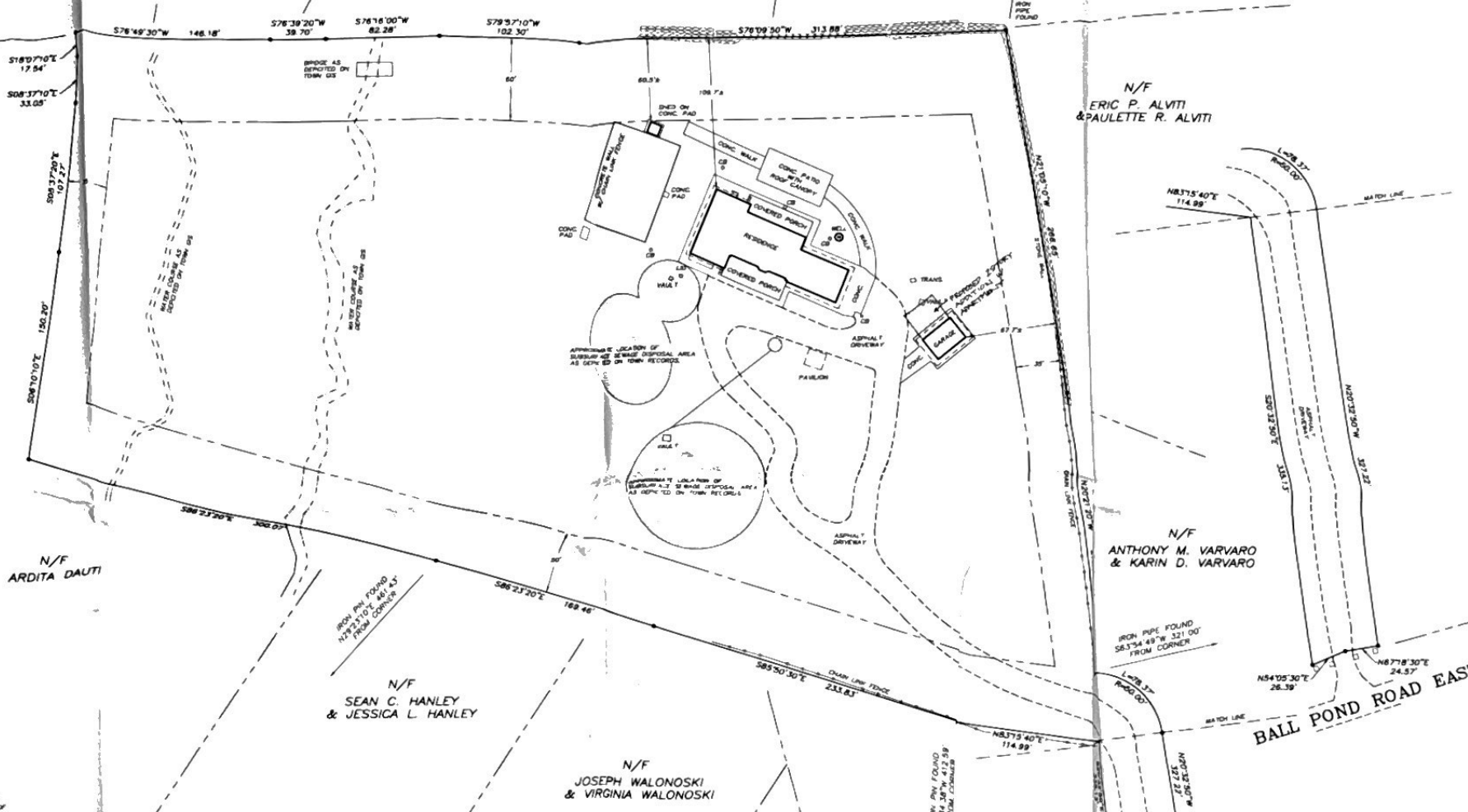
N/F JONATHAN D. TRAUBEN & CHRINE E. TRAUBEN

N/F ANTHONY M. VARVARO & KARIN D. VARVARO

COVERAGE:
 IMPROVEMENTS - 34,000 S.F. / 10.4% TOTAL LOT
 INCLUDES: RESIDENCE, BRIDGE, CONCRETE PAD, SHEDS AND DRIVEWAY

AREA:
 327,285± S.F.
 7.513± ACRES

NOTES:
 THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 39-300-1 THROUGH 39-300-30 OF THE REGULAR LAWS OF CONNECTICUT AND THE STATE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. BY CHAPTER 11 AS A ZONING LOCATION SURVEY BASED ON A RESURVEYING TO CLASS "A" ACCURACY AND IS INTENDED TO BE USED FOR SITE PLANNING PURPOSES.
 PROPERTY IS DEPICTED AS LOT 22-7-34 IN THE ASSESSORS OFFICE.
 PROPERTY IS LOCATED IN "R-88" ZONE.
 ZONE AND SETBACKS ARE SUBJECT TO THE DETERMINATION OF THE ZONING ENFORCEMENT OFFICER.
 REFER TO MAP NOS. 1433, 2026, 2036, 2292, 2490, 3185 & 3532 33420M FILED IN THE TOWN CLERK'S OFFICE.
 UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY ARE NOT DEPICTED ON THIS SURVEY.
 DISTANCES DEPICTED +/- FROM BUILDINGS TO PROPERTY LINES ARE SCALED ONLY AND ARE NOT TO BE USED TO ESTABLISH BOUNDARIES.
 THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERES THE PREPARERS DECLARATION NULL AND VOID.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE LICENSED SURVEYORS' LIVE SIGNATURE AND EMBOSSED SEAL, RENDERES ANY DECLARATION NOTED HEREON NULL AND VOID.



BRAUTIGAM LAND SURVEYORS, P.C.
 90 South Main Street
 Newtown, Connecticut 06470
 Telephone (203) 270-7810
 E-mail Surveying@brautigamland.com

TO MY KNOWLEDGE AND BELIEF THIS SURVEY AND MAP ARE "SUBSTANTIALLY CORRECT" AS NOTED HEREON.
Paul A. Brautigam
 PAUL A. BRAUTIGAM OF LIC. NO. 5718
 THE SURVEY DEPICTED HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS' LIVE SIGNATURE AND EMBOSSED SEAL.

JOB No. 5423007-01 SCALE: 1" = 40'
 FIELD NOTES 29/04 DATE: 10/25/2023 DRAWN BY: SRM
 CHECKED BY: PAB
 5421028 01 DRG
 NAFZIGER

ZONING LOCATION SURVEY
 PREPARED FOR
NAOMI NAFZIGER
 36 BALL POND ROAD EAST
 NEW FAIRFIELD, CONNECTICUT