

ZONING COMMISSION

Town of New Fairfield

(203)312-5646 Fax: (302)312-3508



SPECIAL PERMIT APPLICATION

Application Number SP-23-019

Map: 14 Block: 4 Lot: 8

Zoning District: A-44 Zone

Please type or print:

Date: 9/26/23

Applicant: Town of New Fairfield AGNES ZAKARSKA, P.E.
Town Engineer

Mailing Address: 4 Brook Hill Rd New Fairfield, CT

Project Address: 180 State Rd 39

Phone No: 203-948-5718

Owner(s) of Record: Town of New Fairfield

Address: 4 Brook Hill Rd, New Fairfield

Phone No: 203-948-5719

Application is hereby made for Special Permit per Section 8.2 pursuant to the following Sections(s) of the Zoning Regulations:

Regulation Section 3.1.2(a) - Special Sign Use

For the following purpose: see attached

In compliance with the requirements of the Zoning Regulations, I am hereby submitting the fee, plans, documents, and additional information as required. Exempt from protest

~~()~~ Fee of \$460.00* as specified in Section 10.1.2C (\$200.00 application, \$60.00 State Surcharge and \$200.00 Two Legal Notice for Public Hearing and Results of Application Advertised in Newspaper).

() Letter of authorization from property owner stating an agent may apply for permit. Signature on letter must be original, not copied, facsimile or e-mail.



() Two (2) copies total which should consist of site plans including a A-2 SURVEY by a CT Land surveyor with existing and proposed percentage of impervious surfaces together with existing proposed site improvements including building, parking landscape access and egress, and proposed signage. A-2 survey shall be drawn at a scale of at least 1" = 50', and shall be on sheets either 36"x24" (check regulations for further details). See Zoning Official for additional requirements needed based upon applicant's proposal and use such as a required engineered site plan, architectural design, engineered traffic plan and design, etc.

() Eight (8) 11"x17" copies total which should consist of site plans including a A-2 SURVEY by a CT Land surveyor with existing and proposed percentage of impervious surfaces together with existing proposed site improvements including building, parking landscape access and egress, and proposed signage.

() Report from Health Department on adequacy of sewage disposal system and water supply. **Applicant to write letter requesting such report. Complete description to be included.**

() Proposed use(s) – written statement describing in detail proposed uses(s).

() Traffic Study – Ten (10) copies if development anticipates the generation of more than one hundred (100) vehicular trips per day.

() Report(s) from other Town Agencies (if required) as follows:

- () Fire Marshal () Town Engineer
- () Inland Wetland Commission () CT Department of Transportation
- () Zoning Enforcement Officer () Water Supply Committee
- () Other Agency (please specify) _____
- () Copy of additional information as follows: _____

Applicant to write letter requesting such report. Complete description of project to be included.

() Attach a list with the names and addresses of all adjacent property owners including those across any adjacent roadways. Submit proof that all such neighbors have been notified of this proposed activity. These letters shall be sent **CERTIFIED MAIL, with RETURN RECEIPT**. A copy of the letter sent, certified mail receipt, and return receipt shall be submitted to the Commission 48 hours prior to the Public Hearing. (See page 3).

() If you wish to hire an agent or an authorized permit expeditor to go forward with your application, site plan, or special permit include a signed authorization letter from the property owner with a live signature.


Signature of Owner (date) 9/23/23


Signature of Applicant (date) 9/24/23

***Fee does not include Zoning Permit Fee (issues by Zoning Enforcement Officer, if required.**

For Office Use Only

This Application Complies Does Not Comply with the requirements of the zoning regulations.

Application Complete: Yes No

The application fails to comply as follows: _____

Comments: _____

Review by Zoning Enforcement Officer _____ Date _____

Date of Receipt by Zoning Commission: _____

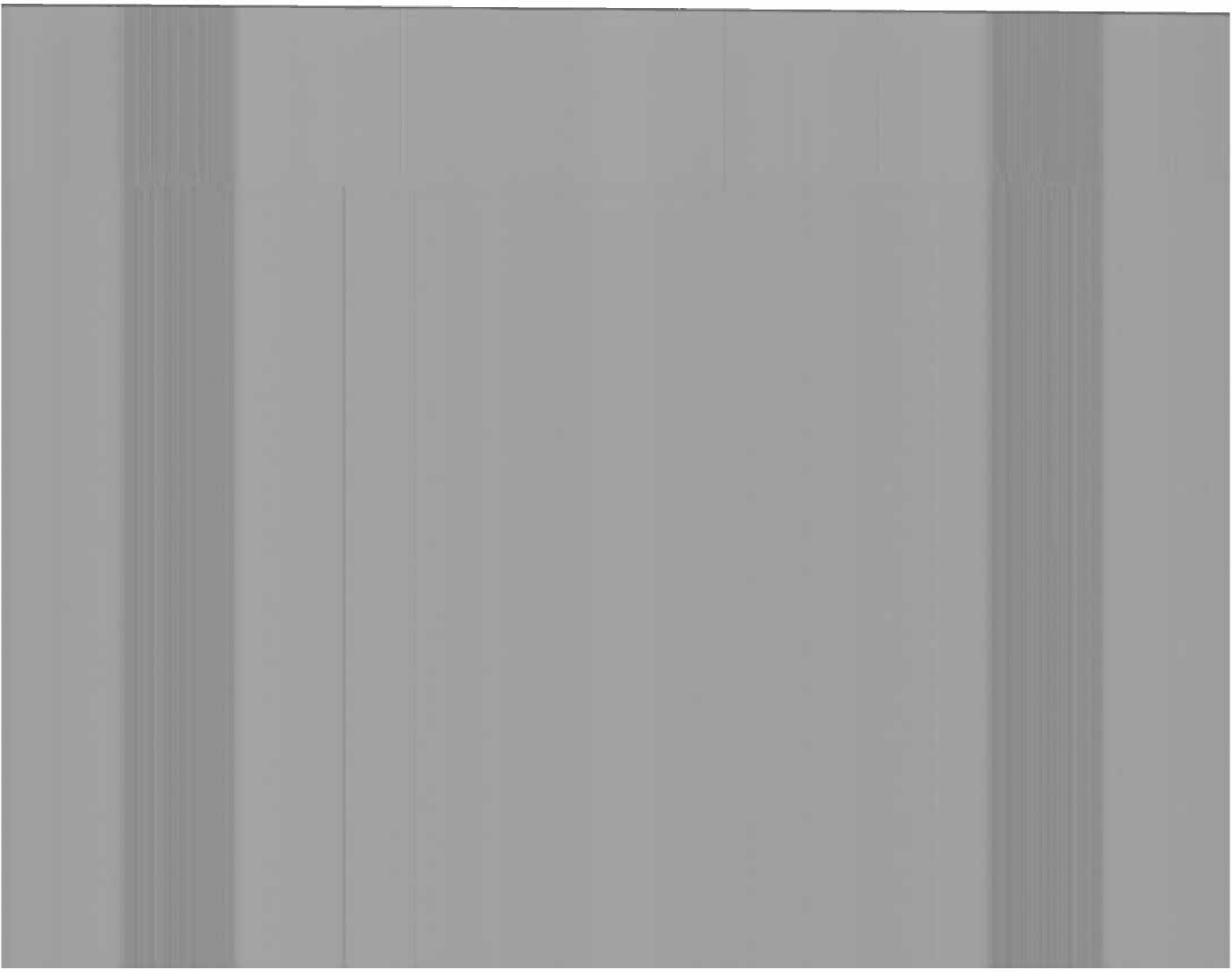
Date of Scheduled Public Hearing: _____

Date of Commission Action: _____ Legal Notice Published _____

Application Approved Application Denied

Application Approved & Modified

Conditions: _____



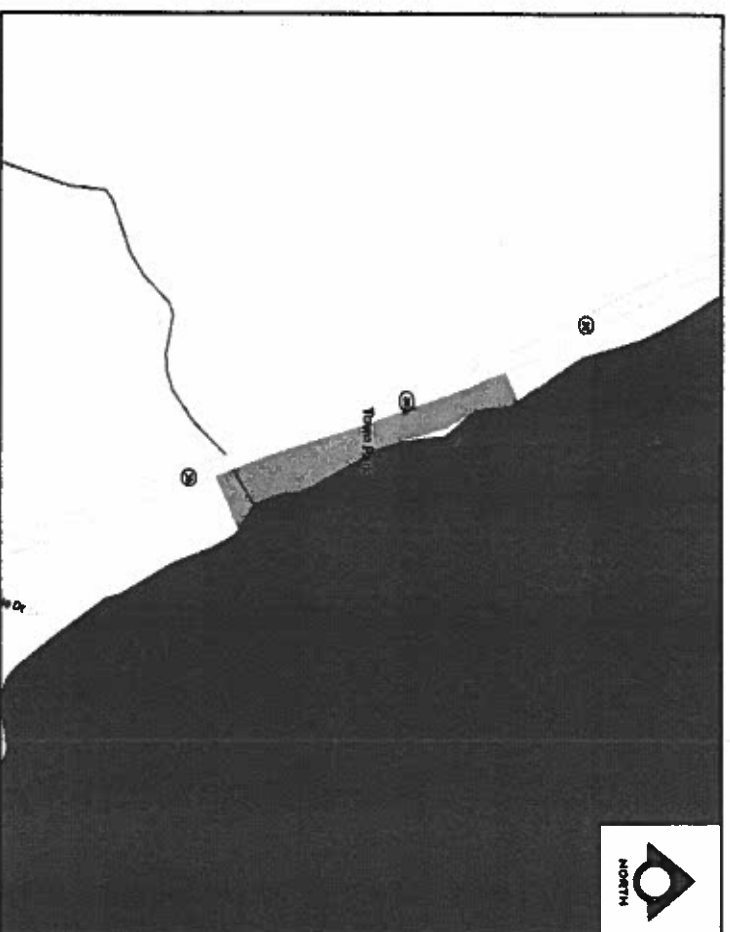
SPECIAL PERMIT – SUPPLEMENTAL INFORMATION
180 ROUTE 39

The current application is for the removal and replacement of the existing Parks and Recreation beach house structure that is located at the above referenced address. The existing aged structure is in a state of disrepair having numerous issues including structural soundness. The town voters recently allocated funds to replace the structure. Thus far, Site and architectural plans have been prepared and are currently being submitted to town review agencies for consideration. Proposed work includes removal of the existing structure and construction of a modern, Building Code compliant structure that will be predominantly located in the same footprint of the building that it will be replacing. The new building will be set at grade in the front (street side) and in the rear (lake side), will be fully 'accessible' and will provide modern amenities for staff and visitors. Proposed site work will be limited to minor landscape area creations in the vicinity of the proposed building entry as well as on the southern end of the access drive, some minor regrading of the driveway area near the proposed building entrance and stabilization measures will be implemented at two storm drainage discharge points. The existing well and existing septic system will continue to serve the building. Site and building work will commence immediately upon obtaining all necessary approvals.

TOWN OF NEW FAIRFIELD

180 ROUTE 39

NEW FAIRFIELD, CONNECTICUT



LOCATION MAP

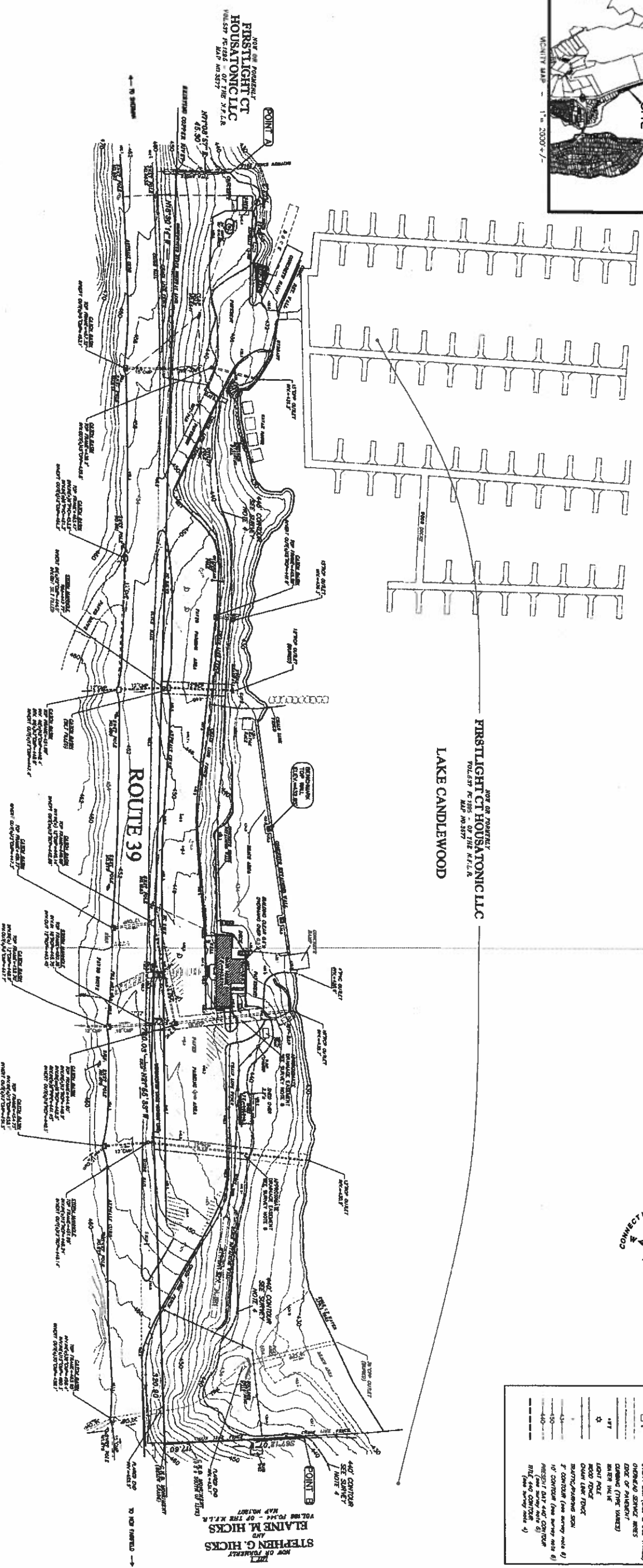
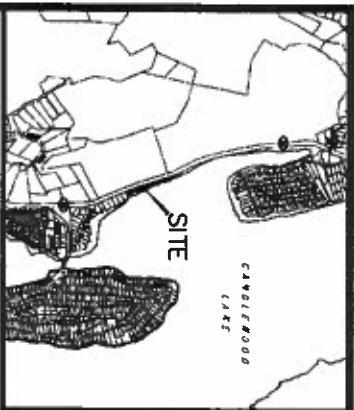
SCALE: 1" = 200'

INDEX OF SHEETS

SHEET NO. DESCRIPTION OF SHEETS

- 1.....COVER SHEET
- 2.....IMPROVEMENT LOCATION SURVEY
(PREPARED BY SYDNEY A. RAPP LAND SURVEYING, P.C.)
- 3.....SITE PLAN
- 4.....GRADING AND UTILITY PLAN
- 5.....PLANTING PLAN
- 6.....DETAILS

			ARTEL ENGINEERING GROUP, LLC 304 FEDERAL ROAD - SUITE 308 BROOKFIELD, CONNECTICUT 06804 WWW.ARTELENGINEERING.COM PHONE: (203) 740-2033 FAX: (203) 740-2067	
			PROJECT MANAGERS SYDNEY A. RAPP PROJECT ENGINEERS SYDNEY A. RAPP	
COVER SHEET		DRAWN BY: BH	CHECKED BY: DV	
TOWN OF NEW FAIRFIELD 180 ROUTE 39 NEW FAIRFIELD, CONNECTICUT		DATE: 8/19/23	SCALE: 1" = 200' DRAWING NO: 023203 PROJECT NO: 023203	
SHEET 1		SHEET 1		



LEGEND	
[Symbol]	CATCH BASIN
[Symbol]	UTILITY POLE
[Symbol]	PIPE HYDRANT
[Symbol]	STEIN MANHOLE
[Symbol]	UTILITY BOX (SEE & USE MARKS)
[Symbol]	OVERHEAD SERVICE WIRES
[Symbol]	EDGE OF PATENTED
[Symbol]	CHANGING (TYPE VARIOUS)
[Symbol]	IRON NAIL
[Symbol]	WOOD POLE
[Symbol]	CHAIN LINK FENCE
[Symbol]	BLUETHY/PATRONS SIGN
[Symbol]	4" CONTOUR (see survey note #1)
[Symbol]	12" CONTOUR (see survey note #1)
[Symbol]	PRECISIT DAT 440' CONTOUR
[Symbol]	SEE SURVEY NOTE #1
[Symbol]	SEE SURVEY NOTE #1
[Symbol]	SEE SURVEY NOTE #1

OWNERSHIP NOTES:
 1. OWNER OF RECORD TOWN OF NEW FAIRFIELD - VOL 70 PC-71-74 OF THE N.P.L.R. (FIRST PARCEL)

SURVEY NOTES:

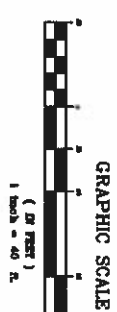
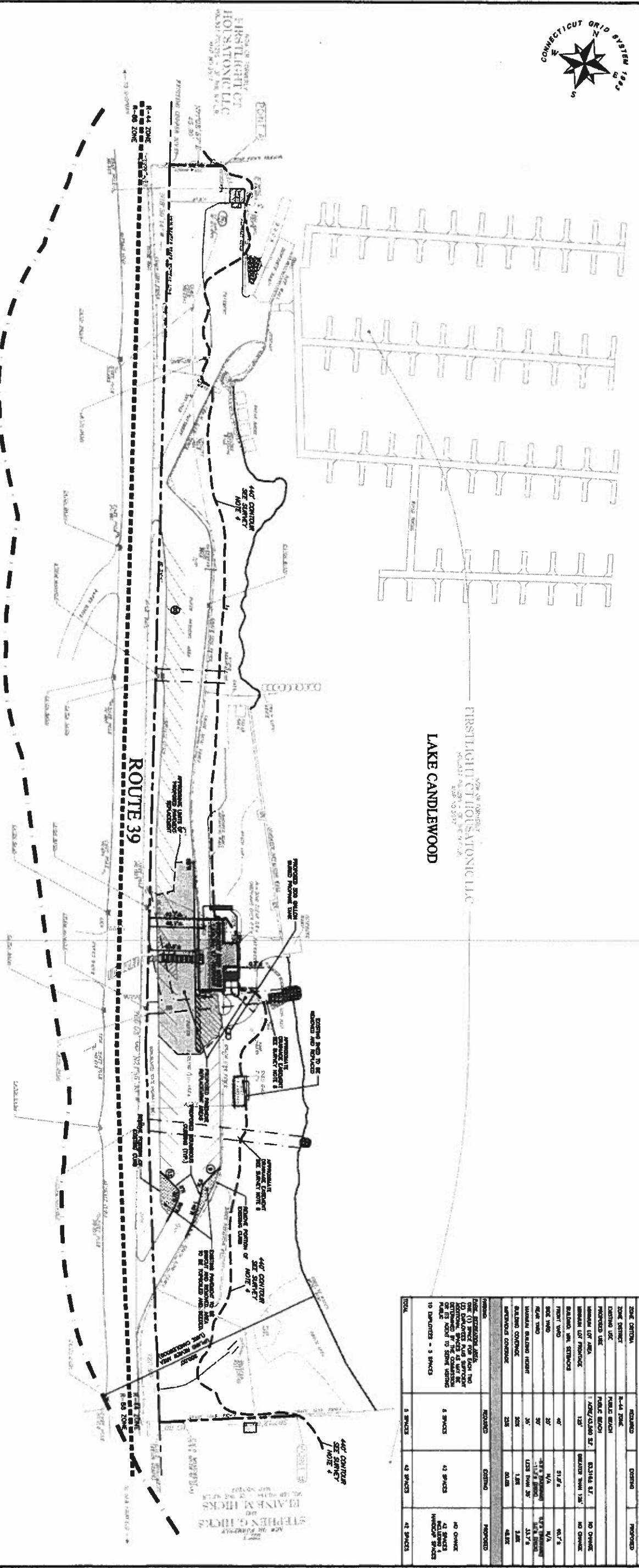
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 26-200 THROUGH 26-209 AND THEIR SUBORDINATE REGULATIONS AND STANDARDS FOR SURVEYS AND MAPS AS ADOPTED AND APPROVED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2018. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT SURVEY COMPARING TO HORIZONTAL ACCURACY CLASS 4-2.
2. MONUMENTATION FOUND OR SET DEPICTED HERON.
3. REFERENCE MADE TO MAP NOS. 803, 1005, 1006, 1007, 1033 AND 2017 OF THE DANBURY LAND RECORDS.
4. 440' CONTOUR DEPICTED HERON ESTABLISHED FROM MAP NOS. 703, 704, 705, 706, 707 OF THE NEW FAIRFIELD LAND RECORDS.
5. REFERENCE MADE TO VOL. 70, PC-71, 74 OF THE NEW FAIRFIELD LAND RECORDS.
6. MONUMENTATION FOUND OR SET DEPICTED HERON.
7. EXISTING DEPICTED HERON REFER TO ROCK RIVER DATUM.
8. SUBJECT TO DRAINAGE EASEMENTS IN FAVOR OF THE STATE OF CONNECTICUT RECORDED IN VOL. 52 PC-197 AND MAP 603 OF THE NEW FAIRFIELD LAND RECORDS.
9. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HERON HAVE BEEN COMPILED, IN PART FROM RECORD MAPS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAPER TESTIMONY AND FIELD SURVEYS. THE EXISTENCE OF THESE UTILITIES AND FACILITIES HAS BEEN VERIFIED BY THE SURVEYOR THROUGH TESTIMONY AND FIELD SURVEYS. THE LOCATION AND EXISTENCE OF ALL SUCH UTILITIES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 811 OR 1-800-832-4466.
10. REFERENCE THE LINE BETWEEN EQUIT A - EQUIT B - 825'± OF E - 1074.70'±.
11. TOTAL IMPROVEMENT SURFACES AREA EQUALS 31,646 SQ. FT. (90,096 SQ. YD.).
12. REVISION OF AUGUST 18, 2023 MADE TO UPDATE GENERAL SITE CONDITIONS.

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
THE TOWN OF NEW FAIRFIELD
 DEPICTING PROPERTY SITUATED AT
 NEW FAIRFIELD, CONNECTICUT
 TAX ASSESSOR MAP 14 BLOCK 4 LOT 5

IMPORTANT!
 THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 26-200 THROUGH 26-209 AND THEIR SUBORDINATE REGULATIONS AND STANDARDS FOR SURVEYS AND MAPS AS ADOPTED AND APPROVED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2018. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT SURVEY COMPARING TO HORIZONTAL ACCURACY CLASS 4-2.

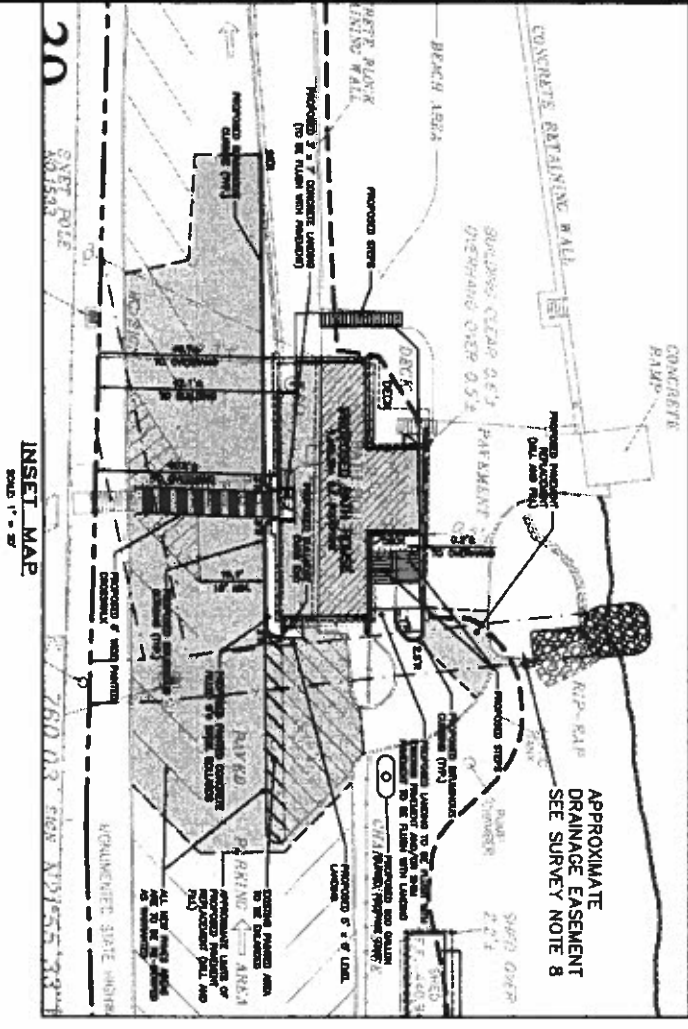
SCALE: 1" = 200'	ZONE: B-44	DATE: MAY 4, 2023	BY: STEPHEN C. HICKS
AREA: 1,148 SQ. YD.	DATE: MAY 4, 2023	BY: STEPHEN C. HICKS	DATE: MAY 4, 2023
PROJECT: NEW FAIRFIELD	DATE: MAY 4, 2023	BY: STEPHEN C. HICKS	DATE: MAY 4, 2023
SURVEYOR: Stephen A. Rogg, Land Surveyor, D.C.	DATE: MAY 4, 2023	BY: STEPHEN C. HICKS	DATE: MAY 4, 2023
134 Grand Street, Danbury, CT 06820	DATE: MAY 4, 2023	BY: STEPHEN C. HICKS	DATE: MAY 4, 2023



- GENERAL NOTES**
- 1. PROPERTY IS SUBJECT TO THE TERMS OF NEW HAVEN'S 2006 ZONING ORDINANCE, SECTION 21-64, WHICH IS INCORPORATED BY REFERENCE HEREIN.
 - 2. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE MEASURED FROM THE CORNERS OF THE LOTS AND SHALL BE CONSIDERED AS THE TRUE DIMENSIONS UNLESS OTHERWISE NOTED.
 - 3. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 - 4. THE CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE 2006 ZONING ORDINANCE, SECTION 21-64, AND THE 2006 SUBDIVISION MAP ACT, SECTION 8-291.
 - 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN ENGINEER AND THE STATE DEPARTMENT OF TRANSPORTATION.
 - 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 - 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING STRUCTURES AND UTILITIES IN THE AREA OF THE PROPOSED CONSTRUCTION.
 - 9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT THE PROJECT.
 - 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY NECESSARY UTILITIES.
 - 11. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE SYSTEM AND SHALL NOT ALTER IT IN ANY MANNER.
 - 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 - 13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - 14. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 - 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING STRUCTURES AND UTILITIES IN THE AREA OF THE PROPOSED CONSTRUCTION.
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 - 18. THE CONTRACTOR SHALL MAINTAIN THE EXISTING DRAINAGE SYSTEM AND SHALL NOT ALTER IT IN ANY MANNER.
 - 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 - 20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

ZONING ANALYSIS TABLE

STATE ZONING	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	RS-4 ZONING		
ZONING USE	PUBLIC BLDG		
PROPOSED USE	PUBLIC BLDG		
MINIMUM LOT AREA	1,020/1,200 SF	8,314 SF	NO CHANGE
MINIMUM LOT FRONTAGE	12'	36.4 FT MIN 12'	NO CHANGE
REAR YARD SETBACK	4'	51.2'	61.7'
FRONT YARD	3'	N/A	N/A
SIDE YARD	3'	5.1 FT MIN 3'	5.1 FT
REAR BALDING HEIGHT	35'	35'	35'
BALDING COVERAGE	20%	1.8%	3.8%
PERMITTED	REQUIRED	EXISTING	PROPOSED
MIN. DISTANCE BETWEEN BUILDINGS	10 FEET	10 FEET	10 FEET
MIN. DISTANCE BETWEEN DRIVEWAYS	10 FEET	10 FEET	10 FEET

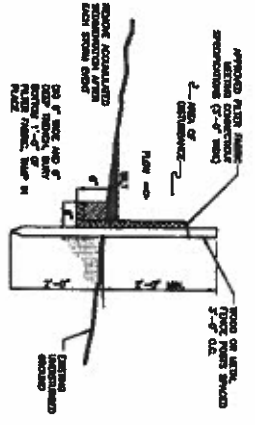
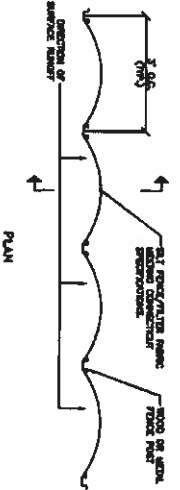


ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD, SUITE 508
BROOKFIELD, CONNECTICUT 06804
PHONE: 860-379-9383 FAX: 860-379-4038

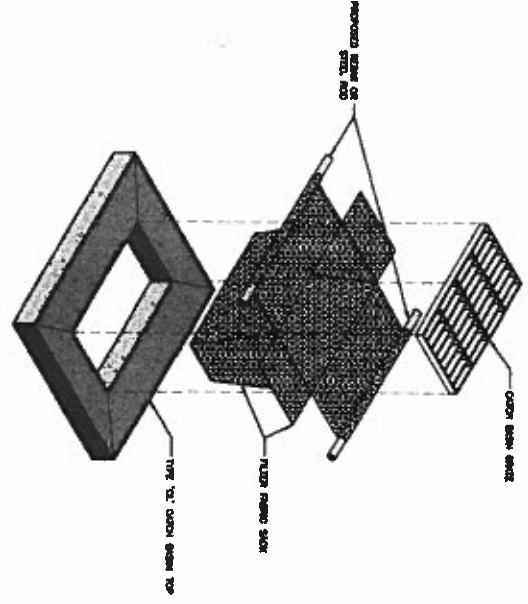
OWNER: NEW FAIRFIELD
DATE: 8/18/21
SCALE: 1" = 40'

DESIGNER: DANIEL M. DEBARTOLO
PROJECT NO.: 0023003
SHEET: 3

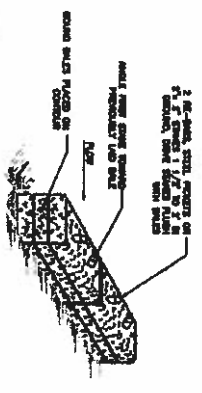




SILT FENCE
NOT TO SCALE



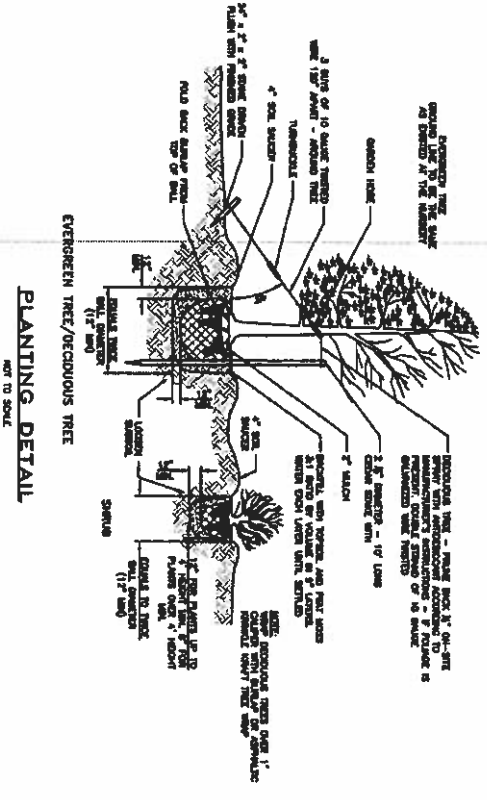
CATCH BASIN SILT SACK
NOT TO SCALE



1. HAY BALE SHALL BE PLACED AT THE END OF THE SLOPE ABOVE THE CURB AND IN A ROW WITH OTHER BALES MAINTAINING THE SLOPE PROFILE.
 2. EACH BALE SHALL BE PLACED TO THE SLOPE AND HORIZONTAL.
 3. BALES SHALL BE SPACED APPROXIMATELY 10 FEET APART TO ALLOW PROPER WATER INFILTRATION AND TO PREVENT THE BALES FROM BEING WASHED AWAY BY THE FORCE OF THE WATER.
 4. SLOPE SHALL BE MAINTAINED AND BALE DEVELOPMENT SHALL BE MONITORED PERIODICALLY.
 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE.
- HAY BALE**
NOT TO SCALE



1. BITUMINOUS CONCRETE SHALL CONFORM TO SPEC OF CT. S-11.
 2. FINISH SURFACE SHALL BE SMOOTH AND PROPERLY COMPACTED TO BE USED BY LABORERS (SMACT).
- BITUMINOUS CONCRETE CURB**
NOT TO SCALE



PLANTING DETAIL
NOT TO SCALE

- MAINTENANCE OF EROSION AND SEDIMENT CONTROLS:**
1. ALL EROSION AND SEDIMENT CONTROLS TO BE CHECKED WEEKLY AFTER EACH RAIN EVENT AND REPAIRED AS NECESSARY.
 2. ALL EROSION AND SEDIMENT CONTROLS TO BE MAINTAINED AND REPAIRED AS NECESSARY.
 3. ALL EROSION AND SEDIMENT CONTROLS TO BE MAINTAINED AND REPAIRED AS NECESSARY.
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EROSION AND SEDIMENTATION NOTES:

1. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
3. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
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REGULATORY AGENCIES:
STATE OF CONNECTICUT, DEPARTMENT OF ENVIRONMENTAL CONTROL, 150 SILVER BELL ROAD, HARTFORD, CT 06103-1045
TOWN OF NEW FAIRFIELD, 150 SILVER BELL ROAD, HARTFORD, CT 06103-1045
DEPARTMENT OF ENVIRONMENTAL CONTROL, 150 SILVER BELL ROAD, HARTFORD, CT 06103-1045
TOWN OF NEW FAIRFIELD, 150 SILVER BELL ROAD, HARTFORD, CT 06103-1045

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	

ARTEL ENGINEERING GROUP, LLC
304 FEDERAL ROAD - SUITE 308
BROOKFIELD, CONNECTICUT 06804
WWW.ARTELENGINEERING.COM
PHONE (203) 740-2033 FAX (203) 740-2007

PROJECT MANAGERS:
• CIVIL ENGINEERS
• ENVIRONMENTAL ENGINEERS
• SURVEYORS
• ARCHITECTS
• ELECTRICAL ENGINEERS
• MECHANICAL ENGINEERS
• PLUMBING ENGINEERS
• PEST CONTROL

DETAILS
DRAWN BY: BH
CHECKED BY: BH
DATE: 8/10/23
SCALE: AS SHOWN
DESIGNED BY: DDB2003
PROJECT NO: DDB23003
SHEET: 6

STATE OF CONNECTICUT
DEPARTMENT OF REGISTRATION AND PROFESSIONAL CERTIFICATION
REGISTERED PROFESSIONAL ENGINEER
NO. 12345
ARTEL ENGINEERING GROUP, LLC