

**ZONING COMMISSION**  
Town of New Fairfield  
203-312-5646 Fax 203-312-3508

*Ch. Paul #1059*

**SPECIAL PERMIT APPLICATION**

Application Number SP-23-020

Map: 39 Block: 1 Lot: 40

Please type or print:

Date: 3/9/23

Applicant: Connor Roscoe

Mailing Address: 13 Candlewood Road New Fairfield, CT

Project Address: 13 Candlewood Road New Fairfield, CT

Phone No: (203) 848-8603

Owner (s) of Record: Robert Roscoe

Address: 13 Candlewood Road New Fairfield, CT

Phone No: (203) 213-7878

Application is hereby made for Special Permit per section 8.2 pursuant to the following section (s) of the Zoning Regulations:

Excavation work within 300' of  
440 line

For the following purpose: Replace damaged retaining wall  
with new concrete wall extended 9' closer to  
house, with appropriate fill/drainage

In compliance with the requirements of the Zoning Regulations, I am hereby submitting the fee, plans, documents and additional information as required.

Fee of **\$460.00\*** as specified in Section 10.1.2C (\$200.00 application, \$60.00 State Surcharge and \$200.00 Two Legal Notice for Public Hearing and Results of Application Advertised in News Paper).

Letter of authorization from property owner stating an agent may apply for permit. Signature on letter must be original not copied, facsimile or e-mail.

**received**  
9-26-23

Ten (10) copies of site plans including a **A-2 SURVEY by a CT Land surveyor with existing and proposed percentage of impervious surfaces** together with existing proposed site improvements including building, parking landscaping access & egress and **proposed signage**. A-2 survey shall be drawn at a scale of at least 1" = 50', and shall be on sheets either 36" x 24", 18" x 12" or 18" x 24" (Check regulations for further details).

Ten (10) copies of a narrative report prepared by a Connecticut licensed engineer as required in Section 6.7 – Storm Water Management Plan.

Report from Health Department on adequacy of sewage disposal system and water supply. **Applicant to write letter requesting such report. Complete description of project to be included.**

Proposed use(s) - written statement describing in detail proposed use(s).

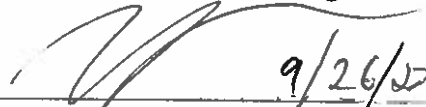
Traffic Study – Ten (10) copies if development anticipates the generation of more than one hundred (100) vehicular trips per day.

Report (s) from other Town Agencies (if required) as follows:

- Fire Marshal
- Inland Wetland Commission
- Zoning Enforcement Officer
- Other Agency (please specify) \_\_\_\_\_
- Copy of additional information as follows: \_\_\_\_\_
- Town Engineer
- CT Department of Transportation
- Water Supply Committee

**Applicant to write letter requesting such report. Complete description of project to be included.**

Attach a list with the names and addresses of all adjacent property owners including those across any adjacent roadways. Submit proof that all such neighbors have been notified of this proposed activity. These letters shall be sent **CERTIFIED MAIL with RETURN RECEIPT**. Both certified mail receipt and return receipt shall be submitted to the Commission either before or at the time of Public Hearing.

  
\_\_\_\_\_  
Signature of owner (date) 9/26/25

  
\_\_\_\_\_  
Signature of Applicant (date) 9/26/25

**\*Fee does not include Zoning Permit Fee (issued by Zoning Enforcement Officer, if required).**  
.....

**For Office Use Only**

This Application Complies       Does Not Comply with the requirements of the zoning regulations.

Application Complete: \_\_\_\_\_ Yes \_\_\_\_\_ No

The application fails to comply as follows: \_\_\_\_\_

\_\_\_\_\_

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Review by Zoning Enforcement Officer \_\_\_\_\_ Date \_\_\_\_\_

Date of Receipt by Zoning Commission: \_\_\_\_\_

Date of Scheduled Public Hearing: \_\_\_\_\_

Date of Commission Action: \_\_\_\_\_ Legal Notice Published \_\_\_\_\_

Application Approved       Application Denied

Application Approved & Modified

Conditions: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

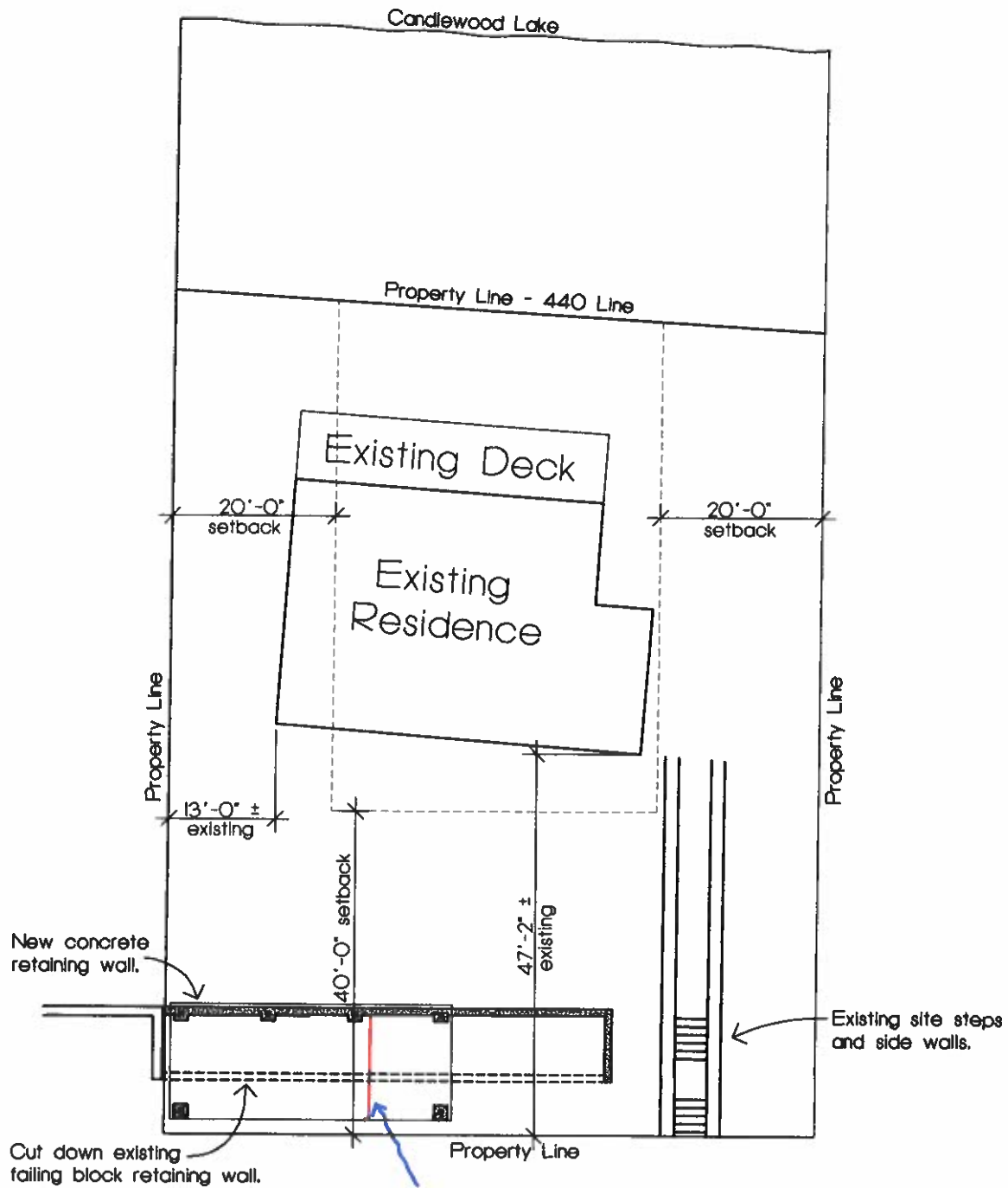
# ***13 Candlewood Rd***

## **Project Description: Driveway Extension**

The purpose of the work proposed at 13 candlewood road is to remove the damaged retaining wall and replace it with a new 9" wide concrete wall. While doing this the driveway will expand approximately 9' closer to existing home. The proposed retaining wall will be a total length of 54'10" and will be 15'8" from front yard setback (approved by ZBA on 2/17/22)

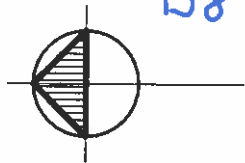
### **Scope of Work:**

- Remove top layers of damaged cinder block wall
- Excavate hole for footing and foundation walls
- Pour footings ranging from 12"x6' to 12"x2' per architectural plans
- Pour 9" thick concrete walls ranging from 4' to 10' high due to slope of property
- Install footing drains and catch basins according to plan directing water to existing run off spot.
- Fill hole with appropriate material finished with crushed stone to leave a gravel finish.
- Build wood railings along perimeter of new retaining wall to code.



15'8" setback

PROJECT  
NORTH



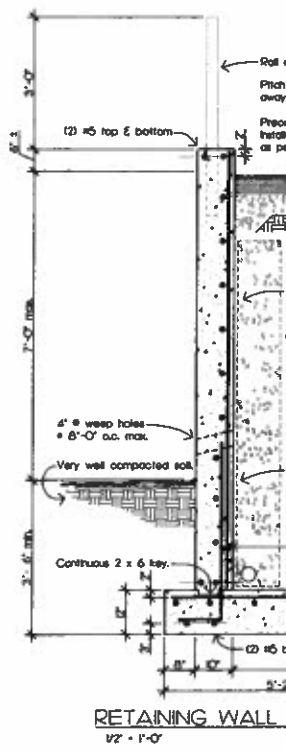
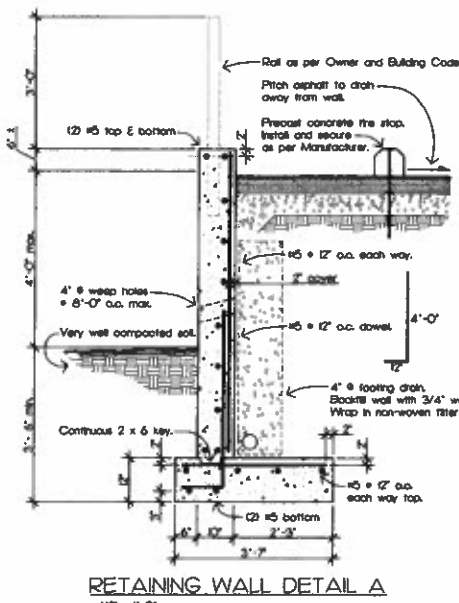
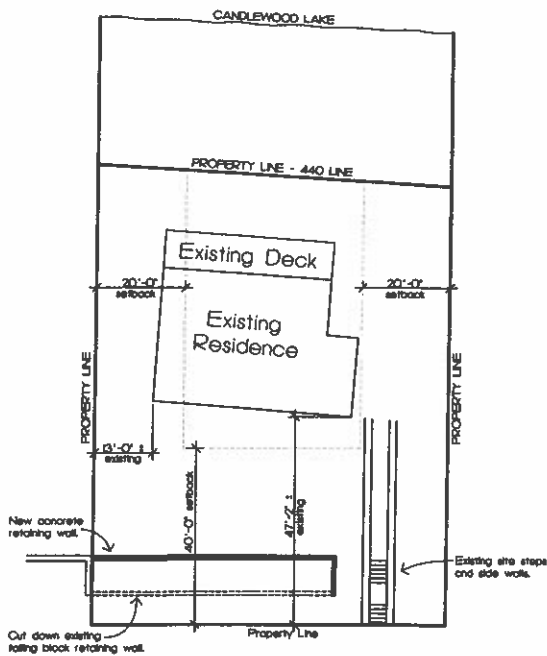
SITE PLAN

1" = 20'-0"

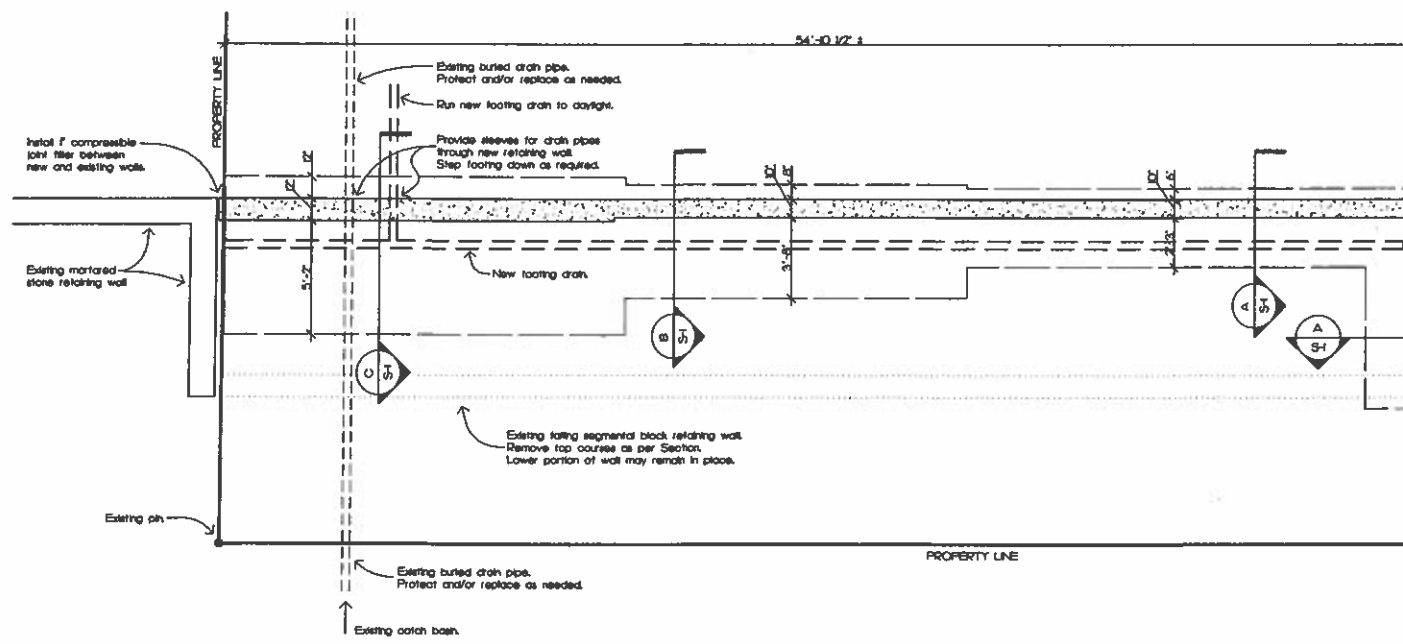
# ***13 Candlewood Rd***

## **Project Uses: Driveway Extension**

The use of this driveway expansion at 13 Candlewood Road will provide the homeowners a safer area to park cars. The existing driveway and retaining wall are sinking and collapsing raising concern of the wall collapsing completely. Currently the driveway is 8' wide leaving the cars to be parked parallel with Candlewood Road. The proposed driveway expansion will give homeowners a total of 15' of space to park vehicles perpendicular to Candlewood Road, creating a safer passage of cars for residents and other traffic in the community.



PROJECT NORTH SITE PLAN  
1" = 20'-0"



**COLD WEATHER CONCRETE**

- General**
- Except as modified by governing Codes, Drawings and Specifications, comply with applicable provisions of the following: ACI Specifications and Standards, including ACI 301, ACI 306, and ACI 318.
  - All concrete exposed to weather or soil shall be 5% ± air entrained.
  - Calcium chloride and admixtures containing chloride shall not be used in the concrete mix.
  - All surfaces to be poured around and against including footing trenches, forms, reinforcing steel, inserts, etc. shall be protected from frost and freezing prior to concrete pour. Use of chloride as frost protection on subgrade is not recommended.
  - As recommended by ACI 306 "Cold Weather Concrete":
    - If air temperature is between 30° and 50°, the temperature of the concrete mix shall be 60° minimum, but not more than 75°.
    - If air temperature is between 0° and 30°, the temperature of the concrete mix shall be 65° minimum, but not more than 80°.
    - The surface temperature of the placed concrete shall be maintained at 50° for a minimum of 3 days after the pour. This is accomplished for concrete 12" thick, and thicker, by providing thermal insulation of sufficient value. For concrete less than 12" thick, an additional heat source may be required.
    - The concrete protection can be removed after 3 days if the air temperature is at least 50° for the 24 hour period following protection removal. All concrete protection provided during curing may be removed after 7 days, regardless of air temperature. The concrete surface temperature shall not be allowed to decrease by more than 30° within the first 24 hour period following protection removal.
    - Information from ACI 306 is provided here as a guide only. Refer to ACI 306 for precise requirements for specific conditions.
  - Concrete which is subject to frost heaving including footings, steps on grade, etc. shall be protected from such until the threat of frost heave is removed.
  - Backfilling and compaction of soil around footings and foundation walls shall be done on frost-free ground and with frost-free soil.

PROJECT NORTH RETAINING WALL PLAN  
1/4" = 1'-0"

- Notes:**
- Site information taken from "Zoning Location Survey" by Gail G. Adams, L.S. and "Site Plan" by R.L. Gallagher, Jr. & Associates, Danbury, CT, revised April 8.
  - Locate and protect all utilities, drains, etc. Contact "Call Before You Dig" prior.
  - Neatly, obtain permission and coordinate with neighboring property owners before.
  - Remove and/or prune trees and shrubs as required to properly perform the work coordinate with Owner.
  - All footings shall bear on undisturbed soil with minimum safe bearing capacity of 2.0 tons per square foot. Contractor shall verify conditions. Notify Archer Engineering of any problems or concerns.
  - All reinforcing steel shall be free of rust, dirt and any other coating that may hinder.
  - All reinforcement and inserts shall be placed and secured as per the Drawings and the standards of the American Concrete Institute.
  - Save copies of all concrete delivery slips. Indicate date, time, and area of place concrete mix and admixtures, concrete and air temperature. Submit upon request.
  - Provide 3000 psi stone concrete with minimum slump possible. All concrete exposed to weather and soil shall be 5% ± air entrained.
  - Concrete shall be handled, placed and finished as per ACI standards. Concrete shall not be allowed to freeze at a distance greater than 3 feet. Concrete shall be continuously placed and vibrated.
  - Preparations for hot/cold weather operations, as per ACI standards, shall be sufficiently made prior to concrete placement. Maintain protection as per Execute operations so as to prevent concrete damage.