

APPLICATION OR APEAL#: 49-23

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

1) Applicant: Arnoldo Lopez
Mailing Address: 54 Cameron Rd Brewster NY 10509
Phone#: 914-486-3798
Email: Arnoldo.Lopez@gmail.com

2) Premises located at: 3 Cameron Rd on the (N S E W) side of the street
at approx. 1500 feet (N S E W) from IngleSide dr (nearest intersecting road).

3) Property Owner Name: Arnoldo Lopez
Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 22 Block No.: 1 Lot No.: 64

5) Zone in which property is located: R-44 Area of Lot: 0.53

6) Dimensions of Lot: Frontage: 100 Average Depth: 100

7) Do you have any Right of Ways or Easements on the property? No

8) Is the property within 500 feet of Danbury, Sherman or New York State? NY yes

9) Have any previous applications been filed with ZBA on this property? No

If so, give dates and application numbers: _____

10) Proposal for which variance is requested: Variance Requeste for construction of private garage vertical expansion for addition living space.

Hardship: pre existing nonconforming shallow odd shape lot with severe slope to back NE corner portion of my lot and extension amount of wetland + Brook

11) Date of Zoning Commission Denial: October 27, 2023

12) Variance(s) Requested: USE DIMENSIONAL

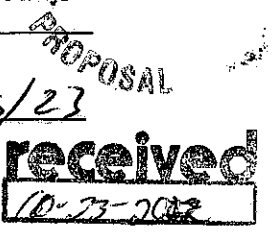
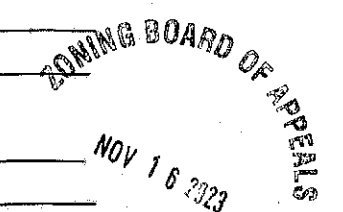
Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: 20.82 Rear to: 22.56
Side to: _____ Side to: _____

13) Use to be made of property if variance is granted: Residential

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

SIGNATURE OF OWNER OR AGENT: [Signature] DATE: 10/05/23



**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE

FROM: Evan G. White, Zoning Enforcement Officer

DATE: October 24, 2023

PROPERTY OWNER: Arnaldo Lopez

PROPERTY ADDRESS: 3 Cameron

APPLICANT/AGENT: Arnaldo Lopez

MAILING ADDRESS: 3 Cameron Road

ZONING DISTRICT: R-44 MAP: 33 BLOCK: 1 LOT: 64

Please be advised that the applicant would like to (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.2.5-Minimum Lot Area & Frontage (A+B)

3.2.6-Minimum Building & Structure Setbacks (C)

3.2.8-Maximum Impervious Surfaces

3.2.11-Minimum Lot Dimensions

7.1.12-Improved Lots Not In a Validated or Approved Subdivision

7.2.3-Nonconforming Use of Building or Structure; Nonconforming Buildings or Structures (A+B+E)

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

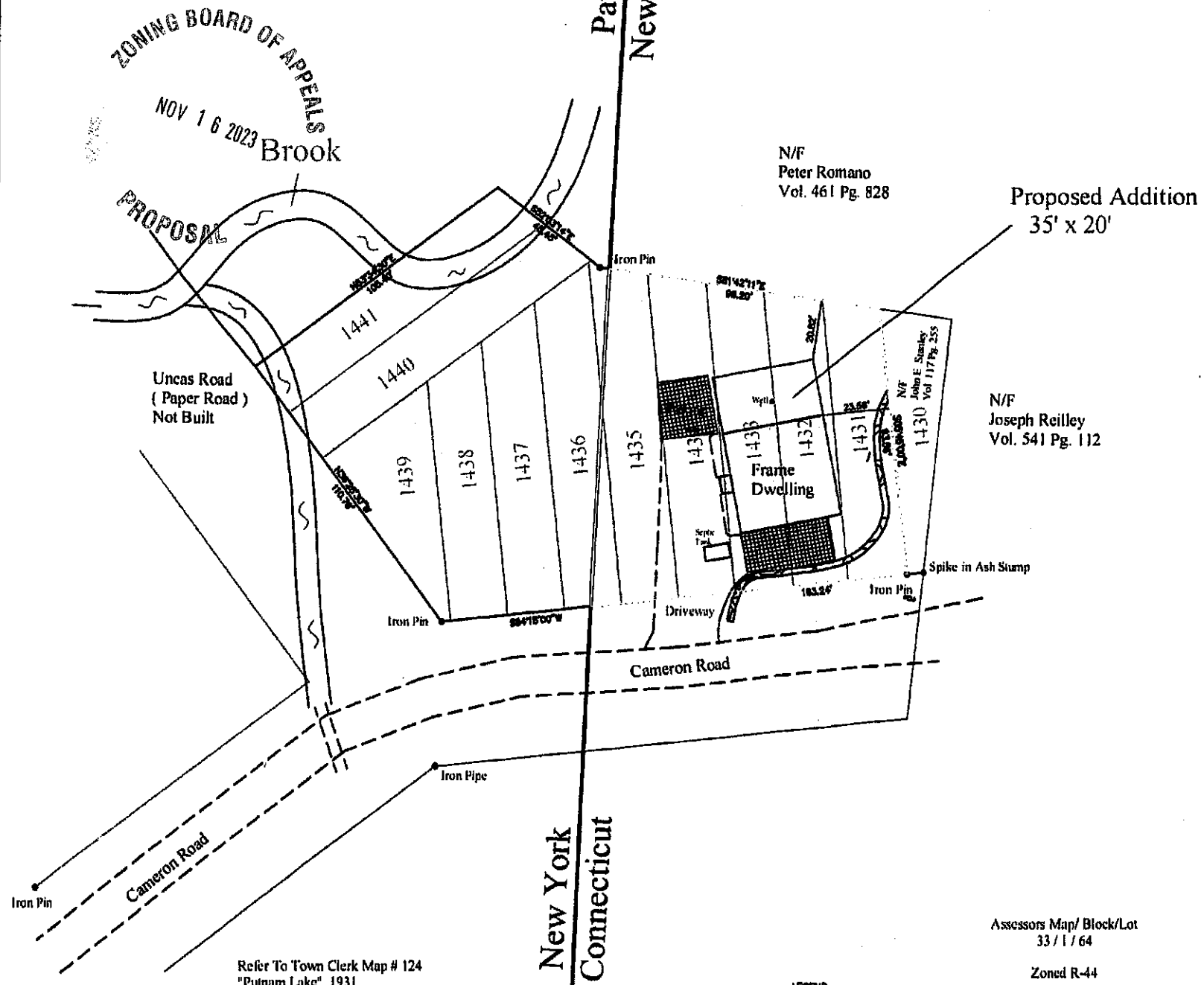
THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.

Evan White, Zoning Enforcement Officer
Town of New Fairfield

Area = 22,925 Square Feet 0.53 ± Acres

Existing Building Area = 1260 Sq. Ft. / 11.6% of New Fairfield & 5% of Entire Parcel
Proposed Building Area = 1960 Sq. Ft. / 18% of New Fairfield & 8% of Entire Parcel
Impervious Surfaces
(House, Stoop, Drive, Brick Pavers, Etc.) 3469 Sq. Ft. / 32% New Fairfield & 15% of Entire Parcel
Proposed Impervious Surfaces 4169 Sq. Ft. / 38% New Fairfield & 18% of Entire Parcel



Total Area = 0.53 ± Acres Ct/NY
Zoning Location Survey
 Prepared For
Arnoldo Lopez
 3 Cameron Road
 New Fairfield, Connecticut
 August, 2023 Scale 1" = 30'

To my knowledge and belief, this map is substantially correct as noted herein.

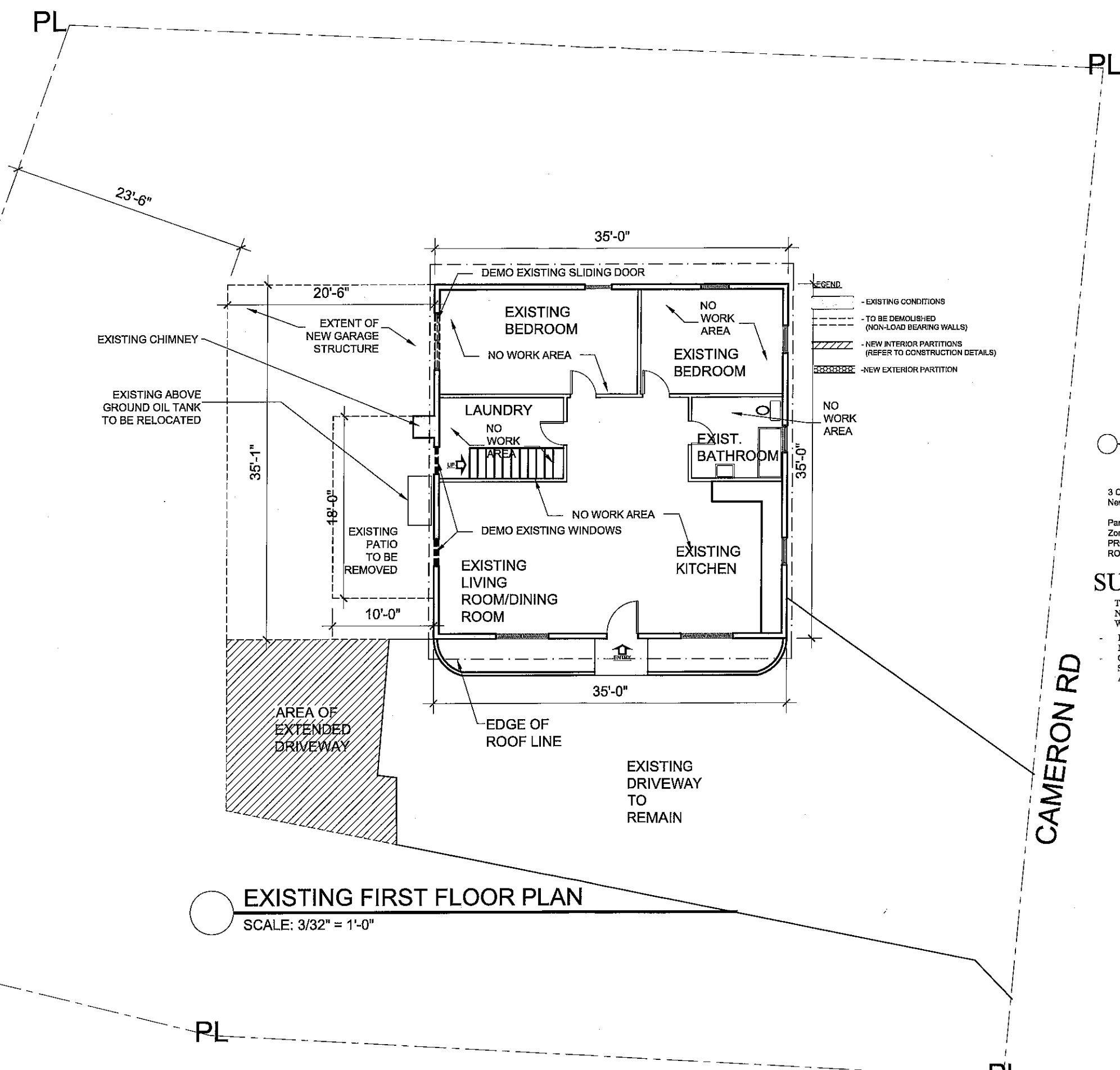
T. Michael Alex Licensed Land Surveyor 828468 Washington, Connecticut
 0 30 60 90 120

This map and survey was prepared to the standards of a class A-E survey as defined in the regulations of Connecticut State Agencies Sec. 8D-300b-1 Thru 8D-300b-20. The type of survey performed is a Dependent Resurvey.

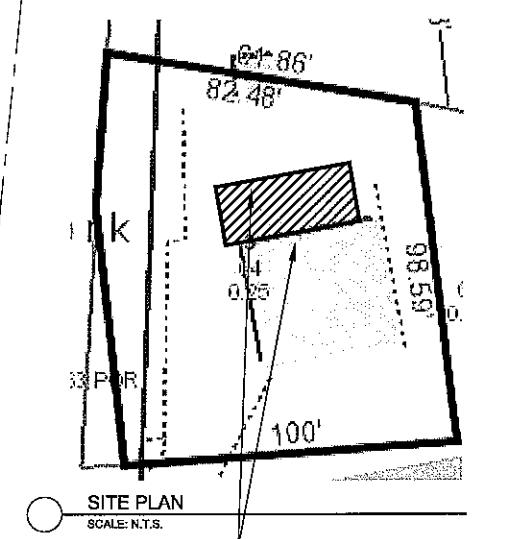
LEGEND
 STONE WALL
 WIRE FENCE
 NO PHYSICAL BOUNDARY
 UTILITY POLE
 Putnam Lake Numbers
 1441

Assessors Map/ Block/Lot
 33 / 1 / 64
 Zoned R-44
 Owner Of Record:
 Arnoldo Lopez
 Volume 536 Page 135-137
 New Fairfield Land Records

REVISIONS	NO.	DATE	REVISION



- LEGEND
- EXISTING CONDITIONS
 - TO BE DEMOLISHED (NON-LOAD BEARING WALLS)
 - NEW INTERIOR PARTITIONS (REFER TO CONSTRUCTION DETAILS)
 - NEW EXTERIOR PARTITION



3 Cameron Rd
New Fairfield, CT 06812

Parcel ID 07300
Zoning: 1
PROPERTY CLASS: SINGLE FAMILY YEAR
ROUND RESIDENCE

SUMMARY OF WORK:

THE WORK SHALL BE AS SHOWN SHALL INCLUDE BUT NOT LIMITED TO THE FOLLOWING GENERAL ITEMS OF WORK:

- EXTENSION OF EXISTING SECOND FLOOR ROOF. NO INCREASE TO FLOOR AREA.
- CONSTRUCTION OF NEW ATTACHED GARAGE STRUCTURE WITH ACCESSORY STORAGE SPACE ABOVE

EXISTING FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

CAMERON RD

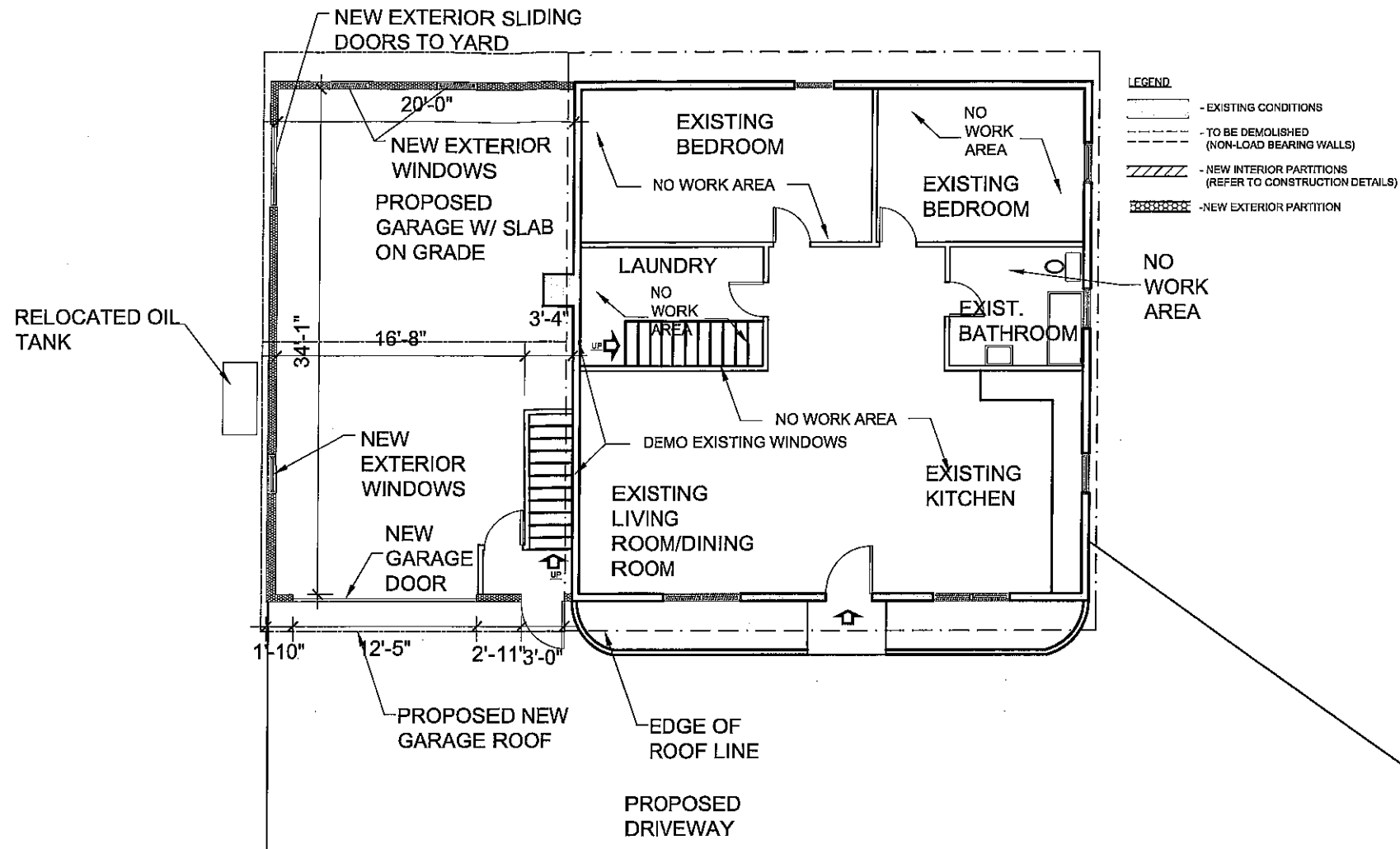
LOPEZ RESIDENCE ALTERATION
3 CAMERON RD.
 FAIRFIELD, CT 06812

ZONING BOARD OF APPEALS
 NOV 16 2023
 PROPOSAL

ISSUED FOR:	CONSTRUCTION PERMIT
DATE: XXXXXX	SCALE: AS NOTED
TITLE:	DRAWN BY:
EXISTING FIRST FLOOR PLAN	
DRAWING NO.	

A-01

REVISION	NUMBER	DATE	REASON
	1	202008	ISSUED FOR PERMITS



PROPOSED FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

LOPEZ RESIDENCE ALTERATION
3 CAMERON RD.
 FAIRFIELD, CT 06812

ZONING ANALYSIS

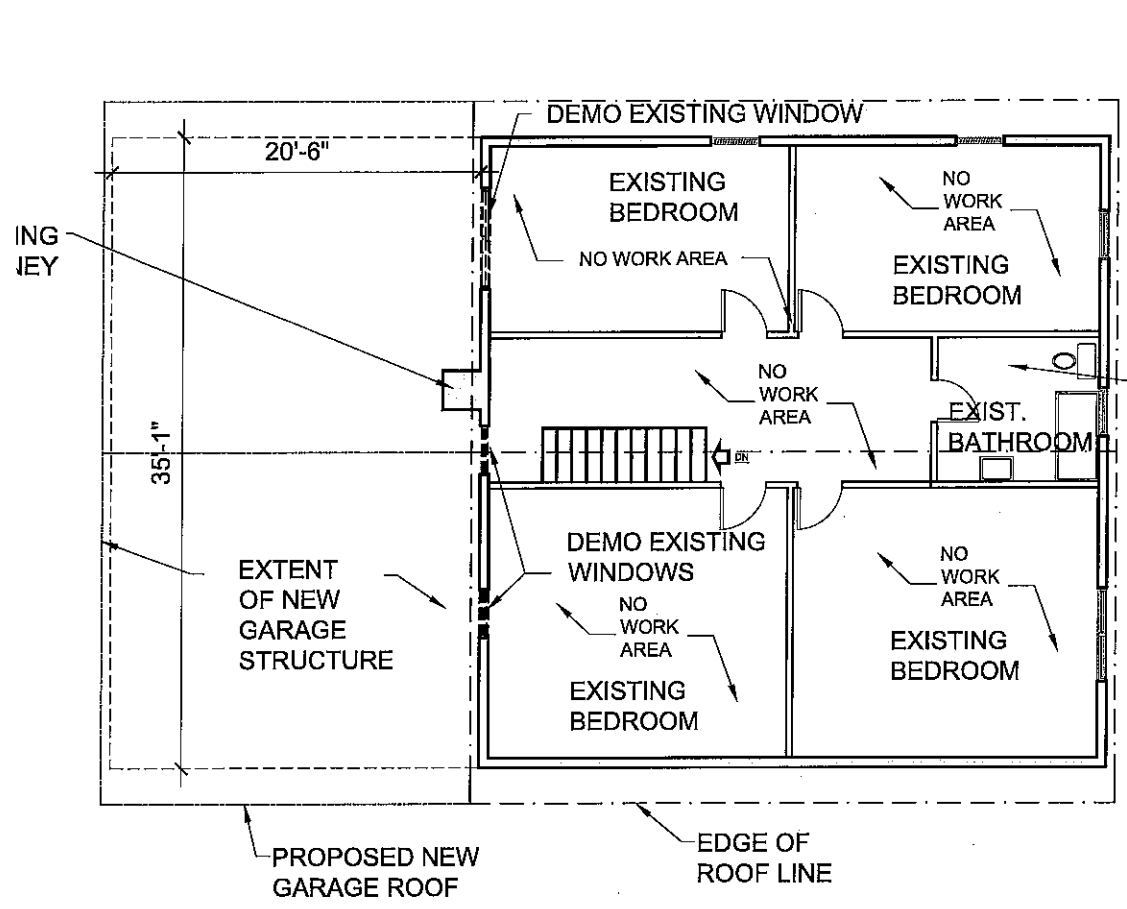
DISTRICT/USE R2-7.0 TWO-FAMILY RESIDENCE	REQUIRED/ALLOWABLE	EXISTING	PROPOSED
NUMBER OF STORIES	2	1-1/2	2
BUILDING HEIGHT	35'-0"	20'-5"	24'-0"
LOT AREA (SQ FT)		11,197 +/-	11,197 (NO CHANGE)
FLOOR AREA, PER DWELLING (SQ FT)		1,942	1,942 (NO CHANGE)
FLOOR AREA RATIO	0.40	0.17	0.17 (NO CHANGE)
COVERAGE BY BUILDING:			
BUILDING COVERAGE (SQ FT)		1,076	1,076 (NO CHANGE)
BUILDING COVERAGE (%)	30%	17%	17% (NO CHANGE)

ZONING BOARD OF APPEALS
 NOV 16 2020
 PROPOSAL

PREPARED FOR: _____
 DATE: _____
 TITLE: **PROPOSED FIRST FLOOR PLAN**
 DRAWING NO.: _____

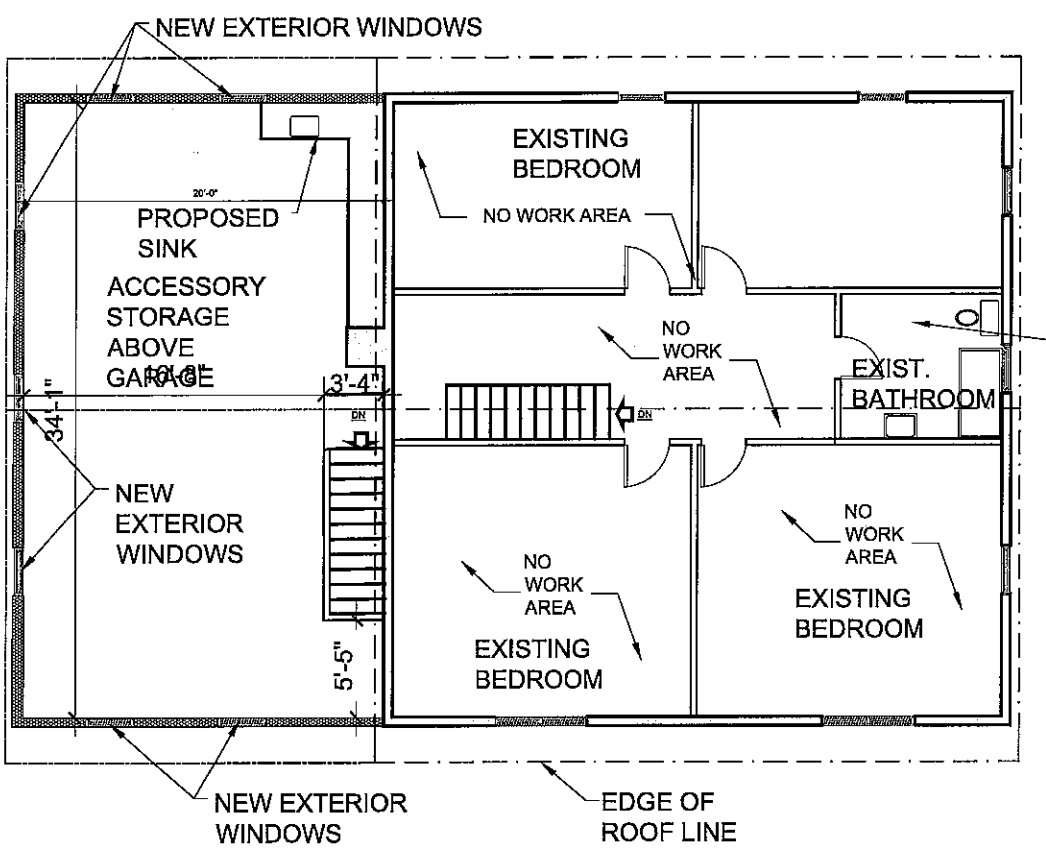
A-02

REVISIONS	NUMBER	DATE	REVISION
	1	2000X	ISSUED FOR PERMITS



EXISTING SECOND FLOOR PLAN

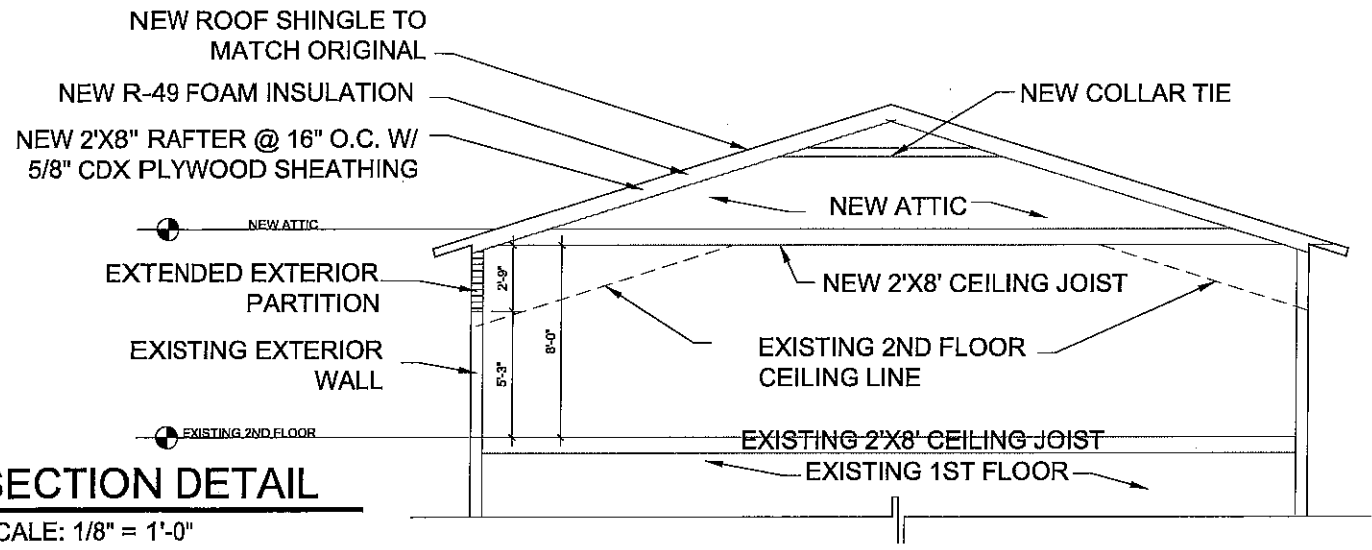
SCALE: 3/32" = 1'-0"



PROPOSED SECOND FLOOR PLAN

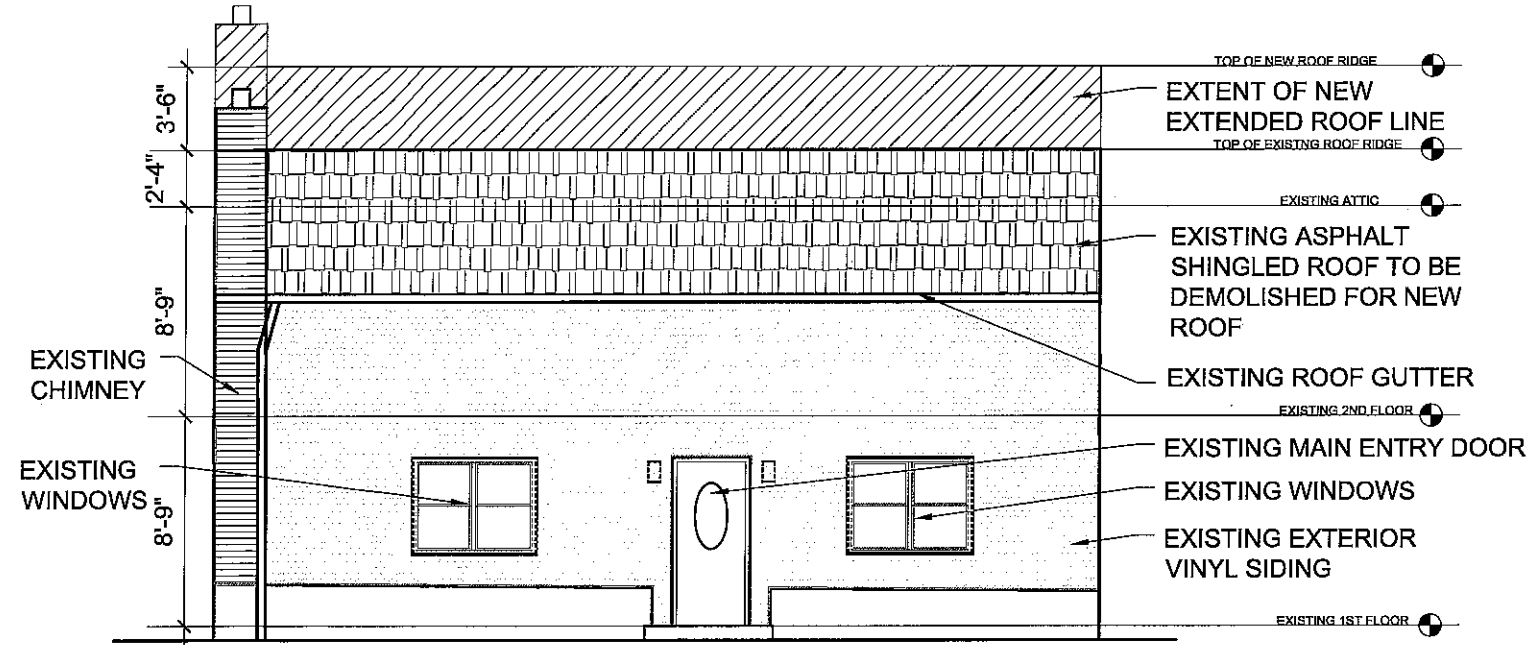
SCALE: 3/32" = 1'-0"

- LEGEND**
- EXISTING CONDITIONS
 - TO BE DEMOLISHED (NON-LOAD BEARING WALLS)
 - NEW INTERIOR PARTITIONS (REFER TO CONSTRUCTION DETAILS)
 - NEW EXTERIOR PARTITION



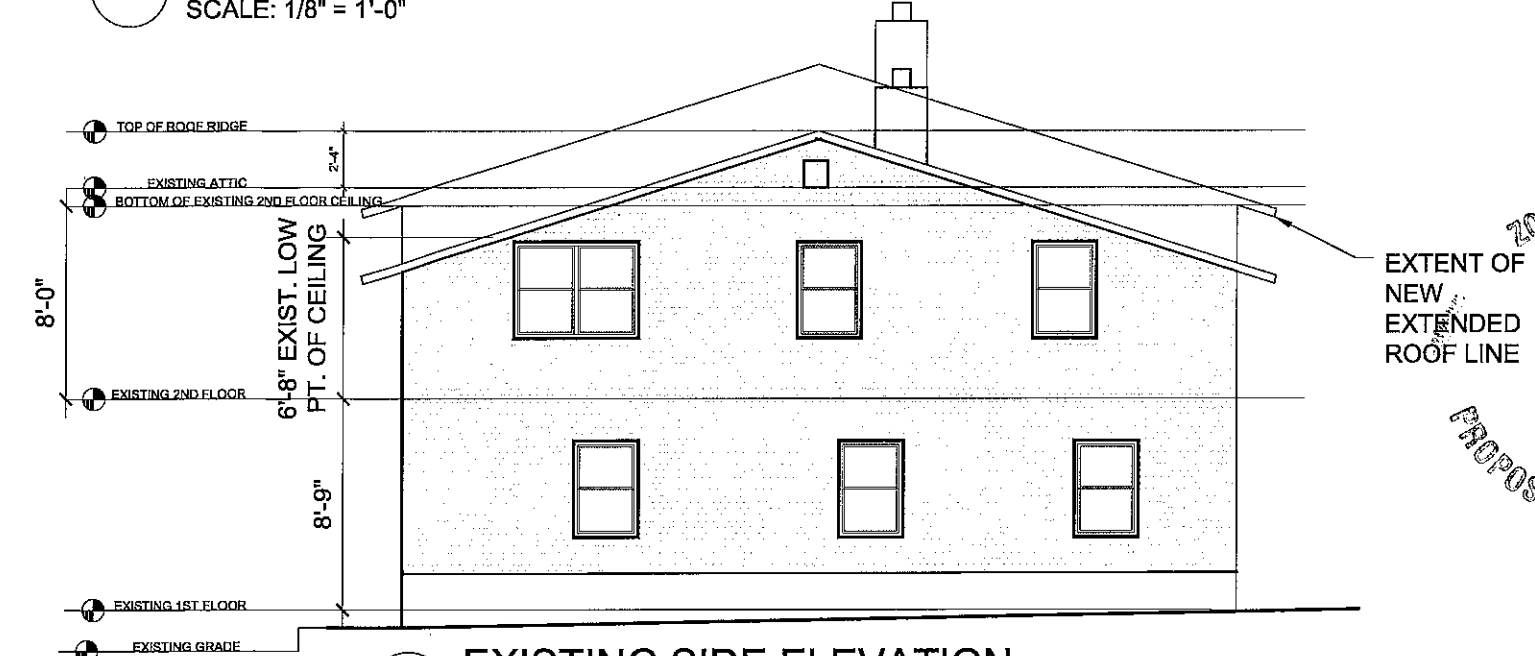
SECTION DETAIL

SCALE: 1/8" = 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING SIDE ELEVATION

SCALE: 1/8" = 1'-0"

LOPEZ RESIDENCE ALTERATION
3 CAMERON RD.
 FAIRFIELD, CT 06812

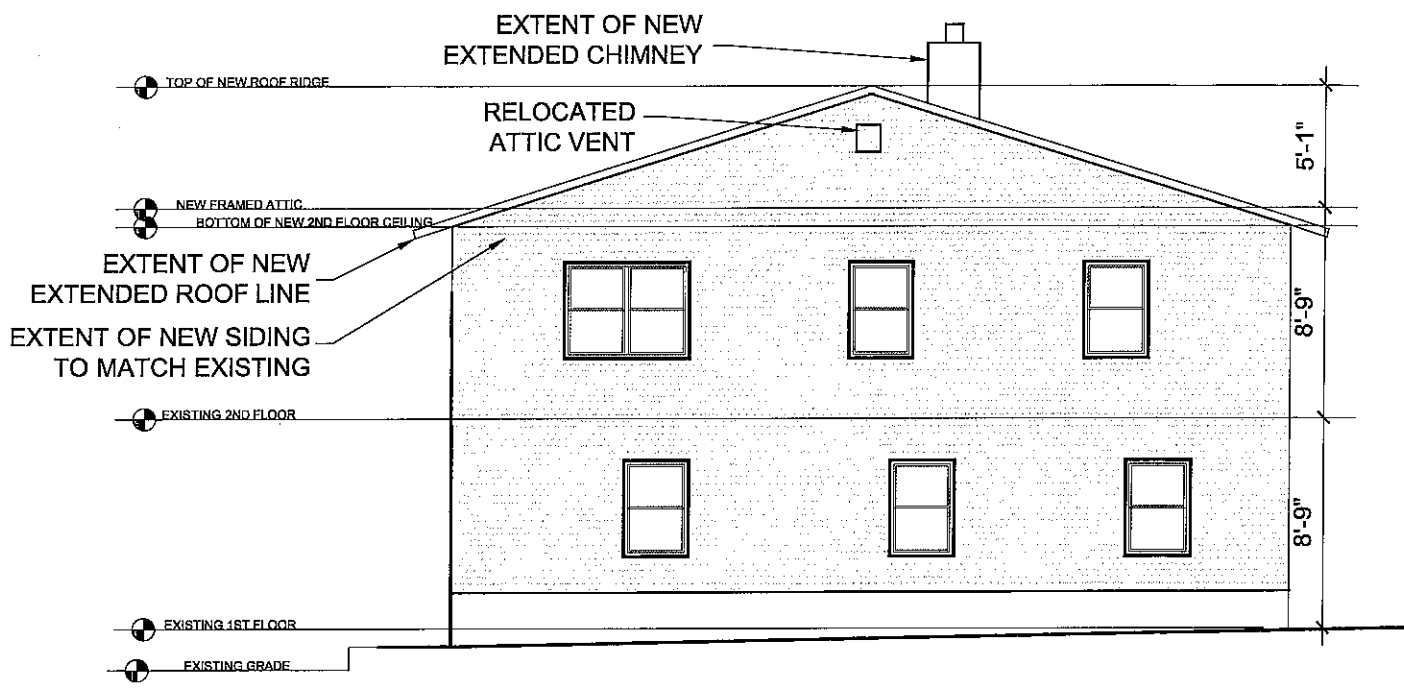
ZONING BOARD OF APPEALS
 NOV 16 2023
 PROPOSAL

ISSUED FOR: CONSTRUCTION PERMIT
 DATE: 2000X SCALE: AS NOTED DRAWN BY: AC
TITLE: EXISTING & PROPOSED 2ND FLOOR PLAN & ELEVATIONS

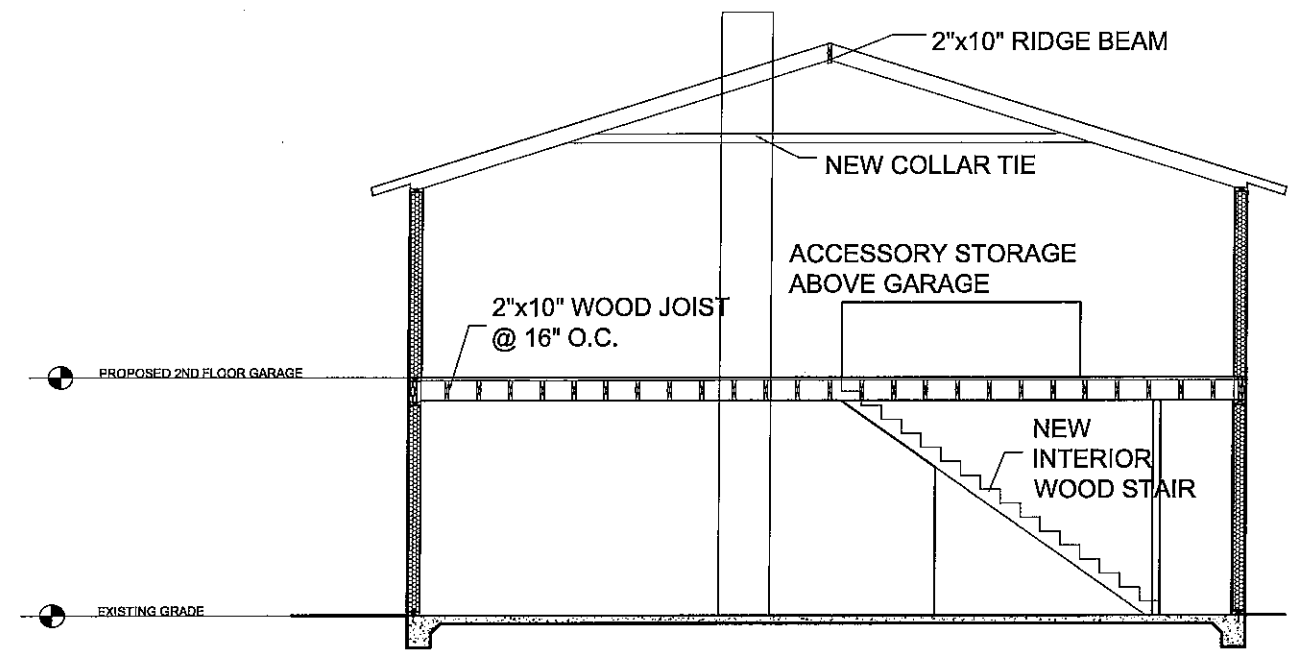
DRAWING NO.

A-03

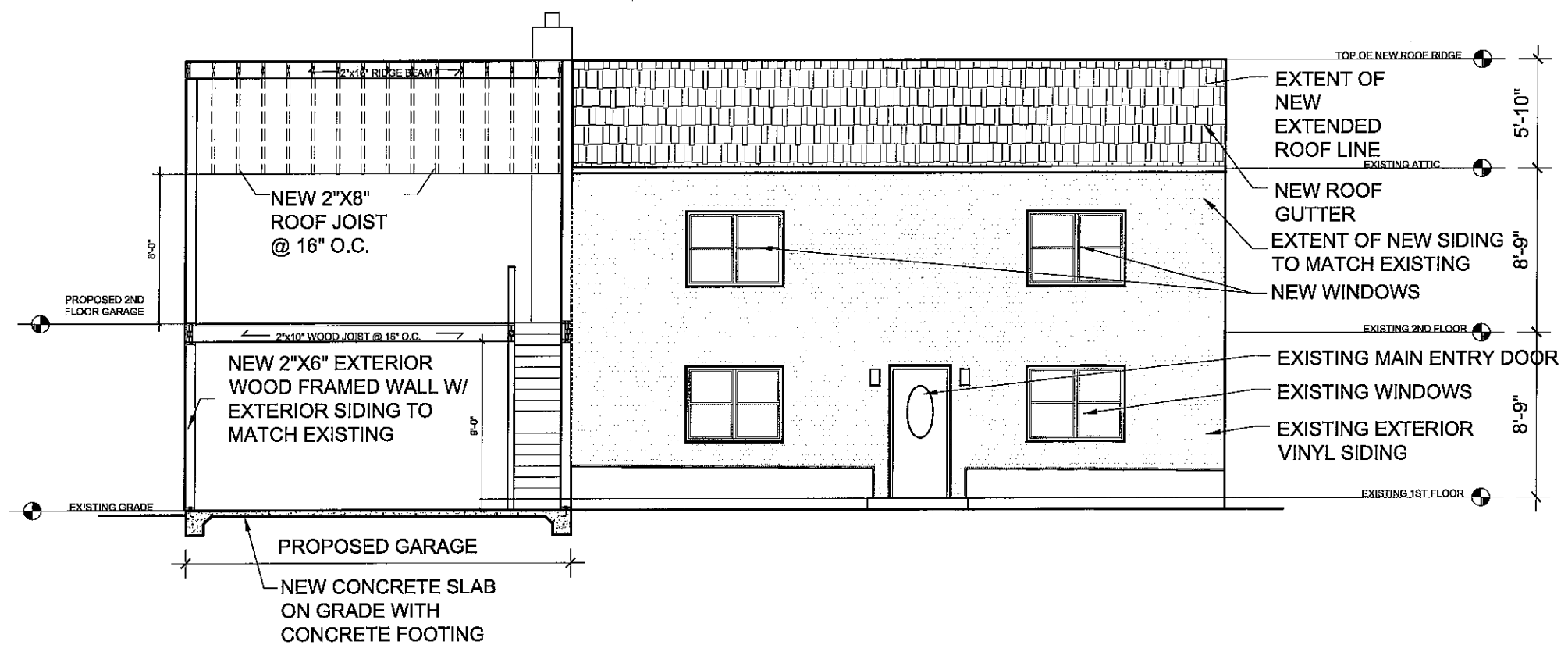
REVISIONS		
NUMBER	DATE	REVISION
1		ISSUED FOR PERMITS



PROPOSED SIDE ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED GARAGE SECTION
SCALE: 1/8" = 1'-0"



PROPOSED GARAGE SECTION & FRONT ELEVATION
SCALE: 1/8" = 1'-0"

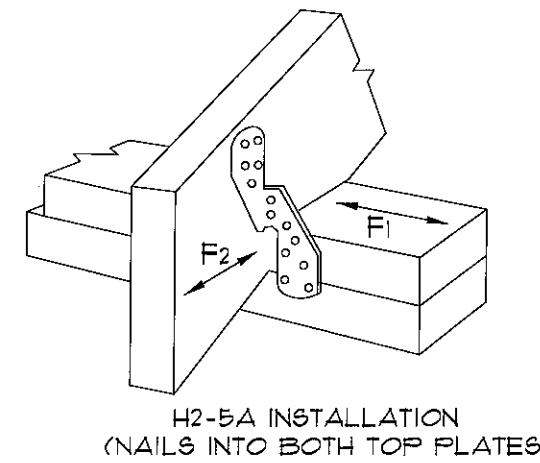
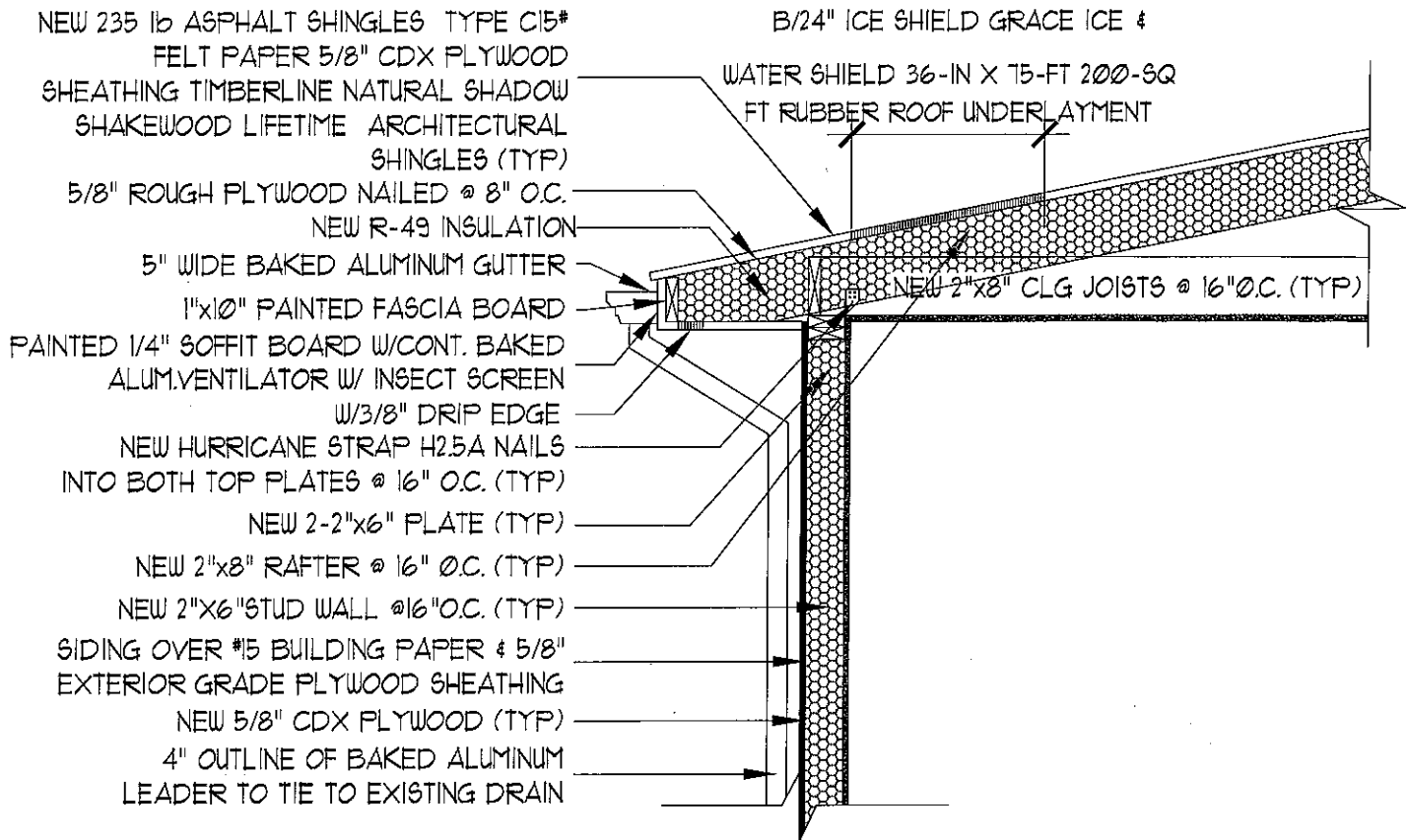
LOPEZ RESIDENCE ALTERATION
3 CAMERON RD.
 FAIRFIELD, CT 06812

ZONING BOARD OF APPEALS
 NOV 16 2023
 PROPOSAL

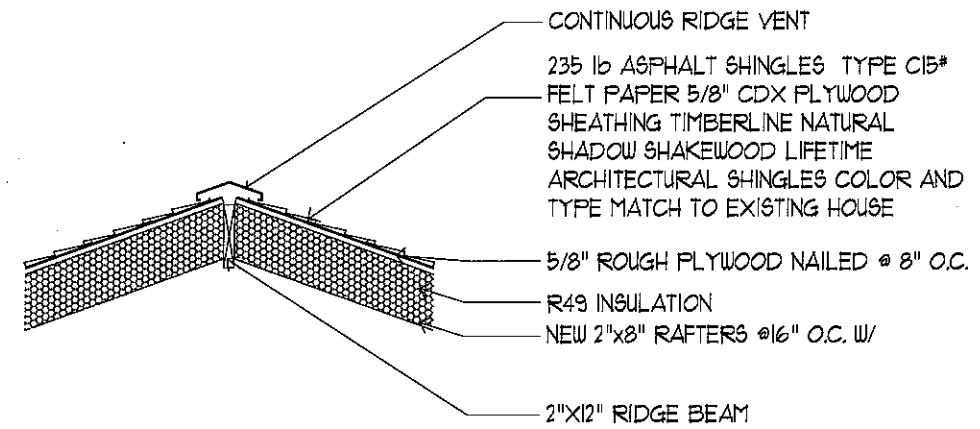
ISSUED FOR: CONSTRUCTION PERMIT
 DATE: 11/16/23 SCALE: AS NOTED DRAWN BY: AC
 TITLE: EXISTING & PROPOSED ELEVATIONS

DRAWING NO.
A-04

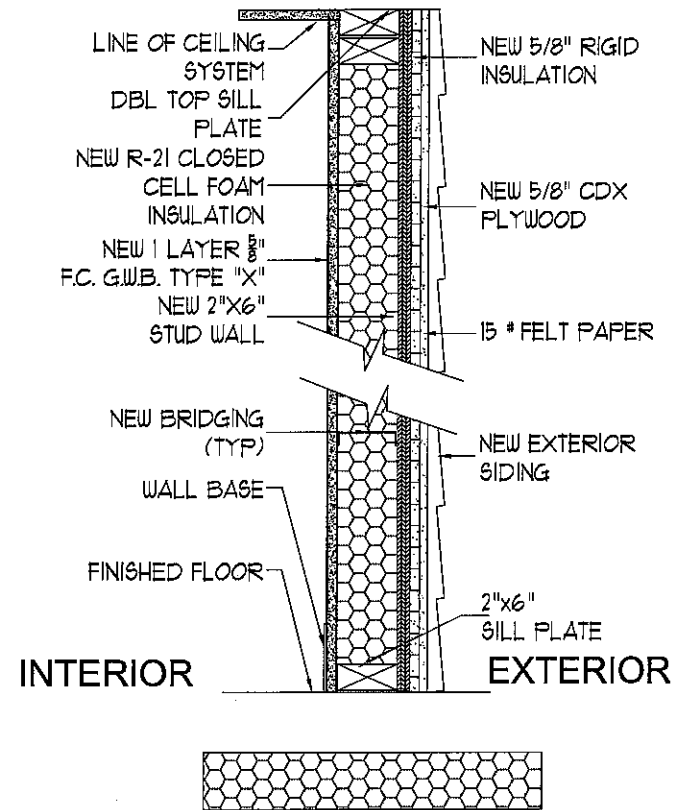
REVISION NUMBER	DATE	REVISION
1	06/02/07	ISSUED FOR PERMITS



NAILS DETAIL
 N.T.S.



RIDGE VENT DETAIL
 N.T.S.



4 **NEW EXTERIOR WALL DETAIL**

LOPEZ RESIDENCE ALTERATION
3 CAMERON RD.
FAIRFIELD, CT 06812

ZONING BOARD OF FAIRFIELD
NOV 16 2023
PROPOSAL

ISSUED FOR	CONSTRUCTION PERMIT
DATE	SCALE
BY	AS NOTED
TITLE	DRAWN BY

DETAILS

TYPICAL DETAILS

DRAWING NO.
A-05