

APPLICATION OR APEAL#: 14-23

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

PROPOSAL
JUL 11 11:11 AM
ZONING BOARD OF APPEALS

1) Applicant: Eric Kuck
Mailing Address: 12 Brush Hill Rd
New Fairfield, Ct. Phone#: 203-885-2507
Email: EricKuck@Sbcglobal.net

2) Premises located at: 12 Brush Hill Rd. on the (N S E W) side of the street
at approx. 0 feet (N S E W) from Butternut LA. (nearest intersecting road).

3) Property Owner Name: Eric Kuck
Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 24 Block No.: 18 Lot No.: 1

5) Zone in which property is located: 2 Area of Lot: 1.145 AC / 49,885 SF

6) Dimensions of Lot: Frontage: 212.70' / 233.55' Average Depth: 726.62

7) Do you have any Right of Ways or Easements on the property? No

8) Is the property within 500 feet of Danbury, Sherman or New York State? No

9) Have any previous applications been filed with ZBA on this property? Yes Oct 2000, Sept 2022
If so, give dates and application numbers: Oct 2000, Sept 2022

10) Proposal for which variance is requested: The proposed Building is slightly larger than allowed for an unattached Building and attaching it to the Home will make it unsightly

Hardship: Septic location, well location, and property slope prevent me from locating garage on the property

11) Date of Zoning Commission Denial: May 23 2023

12) Variance(s) Requested: () USE () DIMENSIONAL
Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: 50 Corner Rear to: 50'
Side to: 35' Side to: 35'

#1

13) Use to be made of property if variance is granted: Residential

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

SIGNATURE OF OWNER OR AGENT: Eric Kuck DATE: 5-5-23

received
5-5-23

**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE
FROM: Evan G. White, Zoning Enforcement Officer
DATE: May 23, 2023
PROPERTY OWNER: Eric Kuck
PROPERTY ADDRESS: 12 Brush Hill Road
APPLICANT/AGENT: Eric Kuck
MAILING ADDRESS: 12 Brush Hill Road
ZONING DISTRICT: R-88 **MAP:** 24 **BLOCK:** 18 **LOT:** 1

Please be advised that the applicant would like to (See Noncompliance).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.0.5-Private Permanent Detached Garage (A+B+C)

7.1.1.1-Improved Lots in Validated Subdivision or Recorded Subdivision and Resubdivision (A+B)

7.2.3-Nonconforming Use of Building or Structure; Nonconforming Buildings or Structures (A+B+E)

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.


Evan White, Zoning Enforcement Officer
Town of New Fairfield

**STATE OF CONNECTICUT
DEPARTMENT OF CONSUMER PROTECTION**

450 Columbus Boulevard ♦ Hartford Connecticut 06103
Attached is your Home Improvement Contractor registration. This registration is not transferable. The Department of Consumer Protection must be notified of any changes to your registration within thirty (30) days of such change. Questions regarding this registration can be emailed to the License Services Division at dcp.licenseservices@ct.gov.

In an effort to be more efficient and Go Green, the department asks that you keep your email information with our office current to receive correspondence. You can access your account with your User ID and Password at www.license.ct.gov to verify, add or change your email address.

Visit our website at www.ct.gov/dcp to verify registrations, apply online and to obtain the booklet for The Connecticut Contractor for Home Improvement and New Home Construction.

KLOTTER FARMS INC
PO Box 440
Ellington, CT 06029

STATE OF CONNECTICUT
DEPARTMENT OF CONSUMER PROTECTION
HOME IMPROVEMENT CONTRACTOR

KLOTTER FARMS INC
216 WEST RD
ELLINGTON, CT 06029

Registration #	Effective	Expiration
HIC.0618767	04/01/2023	03/31/2024

SIGNED *[Signature]*

STATE OF CONNECTICUT ♦ DEPARTMENT OF CONSUMER PROTECTION

Be it known that

KLOTTER FARMS INC
216 WEST RD
ELLINGTON, CT 06029

has satisfied the qualifications required by law and is hereby registered as a

HOME IMPROVEMENT CONTRACTOR

Registration #: HIC.0618767
Effective: 04/01/2023
Expiration: 03/31/2024

[Signature]
Michelle Seagull, Commissioner



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/28/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Paradiso Financial and Insurance Services, LLC 8 E Main Street Stafford Springs, CT 06076	CONTACT NAME: Glenn Torres Pilapil Jr
	PHONE (A/C, No, Ext): (860)684-5270 FAX (A/C, No): (860)851-9564
	E-MAIL ADDRESS: glenn@paradisoinsurance.com
	INSURER(S) AFFORDING COVERAGE
	NAIC #
INSURED Kloter Farms, Inc 216 West Rd Ellington, CT 06029-3724	INSURER A: Central Insurance
	INSURER B: Central Insurance 20230
	INSURER C: Hartford (The) 00914
	INSURER D:
	INSURER E:
	INSURER F:

COVERAGES **CERTIFICATE NUMBER: 95972307-0** **REVISION NUMBER: 11**

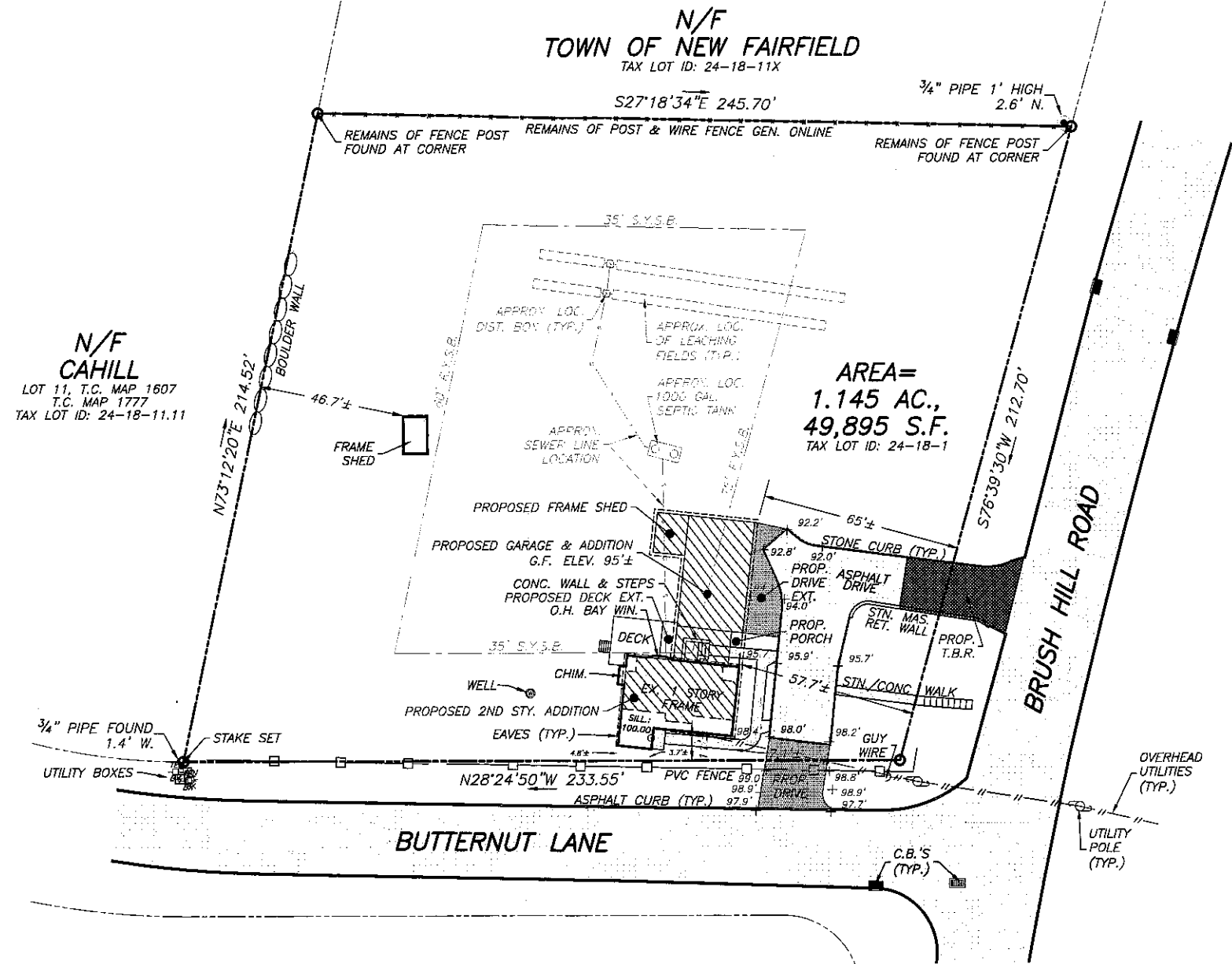
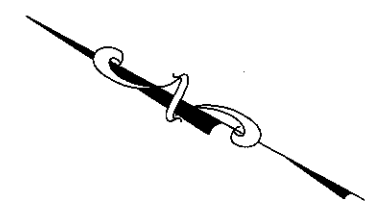
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR			CLP 8694977-11	10/24/2022	10/24/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:						
B	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			BAP 8694977	10/24/2022	10/24/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$			CXS 8694978-11	10/24/2022	10/24/2023	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		<input type="checkbox"/> Y / <input checked="" type="checkbox"/> N / A	02WECAN5GGW	10/24/2022	10/24/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 100,000 E.L. DISEASE - EA EMPLOYEE \$ 100,000 E.L. DISEASE - POLICY LIMIT \$ 500,000
	Property			8694976-10	10/24/2022	10/24/2023	Blanket Property 9,647,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER Kloter Farms, Inc Evidence of Insurance	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>A. Fanelli</i> (GTP)

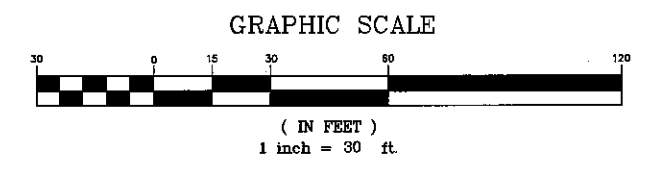
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N/F CAHILL
 LOT 11, T.C. MAP 1607
 T.C. MAP 1777
 TAX LOT ID: 24-18-11.11

AREA =
 1.145 AC.,
 49,895 S.F.
 TAX LOT ID: 24-18-1

NOTES:
 VERTICAL DATUM ASSUMED
 T.B.R. = TO BE REMOVED



ZONING TABLE - R88 (ZONE 2)				
	AREA (S.F.)	BUILDING AREA (S.F.)/%	IMPERVIOUS SURFACE (S.F.)/%	
REQUIREMENT	87120 MIN	7484 15.0%	4990	10.0%
EXISTING	49895	908 1.8%	3475	7.0%
PROPOSED	49895	2180 4.4%	4640	9.3%

CERTIFICATION

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", AS ADOPTED ON SEPTEMBER 26, 1996, AS FOLLOWS:
 • THIS MAP WAS PREPARED AS A BOUNDARY/PROPERTY SURVEY.
 • BOUNDARY DETERMINATION IS IN ACCORDANCE WITH THE STANDARDS FOR A DEPENDANT RESURVEY. (REFER TO T.C. MAP NO. 1401 ON FILE WITH THE NEW FAIRFIELD LAND RECORDS).
 • THIS MAP MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR HORIZONTAL ACCURACY FOR CLASS A-2 SURVEYS.
 TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON



SURVEYOR'S SEAL

PLOT PLAN / PROPERTY SURVEY

PREPARED FOR
ERIC KUCK

BEING
T.C. MAP No. 1401
 ALSO KNOWN AS
12 BRUSH HILL ROAD
 SITUATE IN THE

TOWN OF NEW FAIRFIELD FAIRFIELD CO., CT.
SCALE: 1" = 30'
APRIL, 19 2022

COPYRIGHT © 2022 GEOLOGIC LAND SURVEYING, PLLC ALL RIGHTS RESERVED

REVISIONS / ADDITIONS

DATE	DESCRIPTION	BY
9/26/22	ADD PROPOSED DRIVE & GRADES	EF

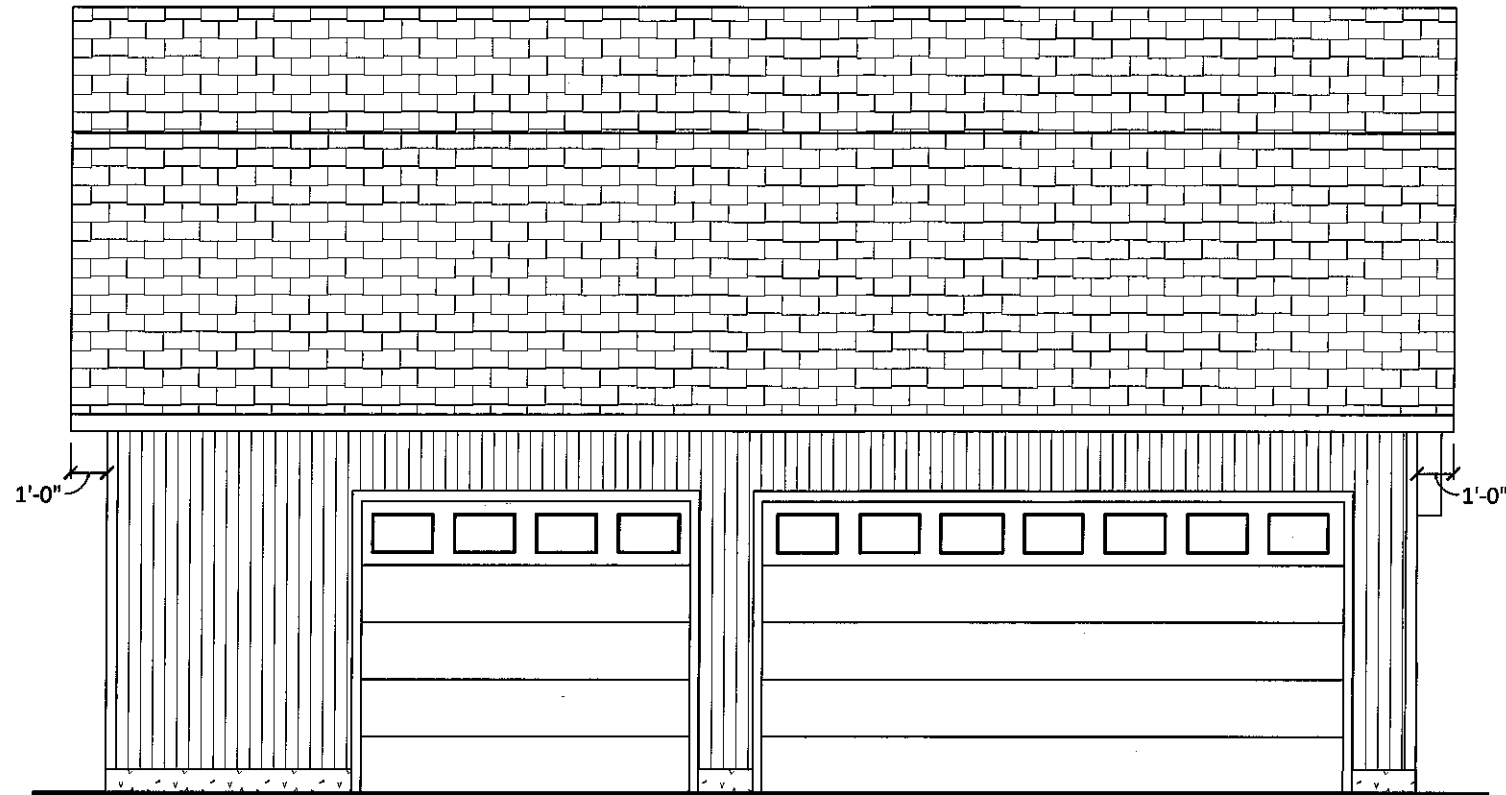
MAP NOTES

- THIS SURVEY WAS CONDUCTED ON THE GROUND ON APRIL 19, 2022.
- PROPERTY LOCATED IN ZONE 2 (R88) ZONING DISTRICT.
- PROPERTY SUBJECT TO COVENANTS AND RESTRICTIONS OF RECORD.
- NO CERTIFICATION IS MADE TO THE LOCATION OF UNDERGROUND FEATURES AND/OR STRUCTURES; UNDERGROUND FEATURES, IF ANY, ARE NOT SHOWN HEREON.
- REFERENCES MADE TO TOWN CLERK MAP No. 1401, 1607, 1777, AS WELL AS BOOK 562 PAGE 873.
- REFERENCES MADE TO MAPS PREPARED BY PAUL A. HIRO ENTITLED "PROPERTY SURVEY PREPARED FOR THOMAS J. & CINDY K. LOMBARDI" DATED OCTOBER 3, 2000.
- SEPTIC LOCATION SHOWN HEREON TAKEN FROM AS-BUILT ON FILE WITH BUILDING DEPARTMENT.
- OFFSET SHOWN HEREON REFER TO THE BUILDING EAVES U.G.N.
- ONLY COPIES OF THE ORIGINAL OF THIS SURVEY, BEARING THE ORIGINAL IMPRESSION OF THE SURVEYOR'S EMBOSSED SEAL ATOP THE COMPANY LOGO, SHALL BE CONSIDERED TO BE VALID, TRUE, COPIES.

DRAWN BY: EF CHECKED BY: EF FIELD PARTY: EF

JOB NO. 24-18-1 (KUCK 2022)

Eric Kuck, New Fairfield, CT



DRAFTING
CONCEPTS
Designing
Drafting
3D Color Renderings
5219 Old Strasburg Rd.
Kinzers, PA 17535
P. 717-442-5053
F. 717-970-5925

ANY CHANGES FROM THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF DRAFTING CONCEPTS AND APPROVED BEFORE CONSTRUCTION. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS.

DATE	ITEM	BY
4/26/23	FINAL	E.S.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
ROOF		
CEILING JOISTS TO TOP PLATE	(3) 10d	TOE NAIL
CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS	(4) 10d	FACE NAIL
COLLAR TIE TO RAFTER, FACE NAIL OR 1X4 X 20 GAGE RIDGE STRAP TO RAFTER	(4) 10d	FACE NAIL EACH RAFTER
RAFTER OR ROOF TRUSS TO PLATE	(3) 16d	TOE NAIL
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS	(4) 16d	TOE NAIL
WALL		
STUD TO STUD	16d	24" O.C. FACE NAIL
BUILT-UP HEADER, TWO PIECES	16d	16" O.C. EA. EDGE FACE NAIL
CONTINUOUS HEADER TO STUD	(4) 8d	TOE NAIL
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
TOP PLATE TO TOP PLATE	10d	12" O.C. FACE NAIL
DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	(8) 16d	—
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING	16d	12" O.C. FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	(3) 16d	16" O.C. FACE NAIL
TOP OR BOTTOM PLATE TO STUD	(3) 16d	END NAIL
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	(3) 10d	FACE NAIL
JOIST TO SILL, TOP PLATE OR GIRDER	(4) 8d	TOE NAIL
RIM JOIST, BAND JOIST, OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	10d	6" O.C. TO NAIL
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING		
$\frac{5}{8}$ " - $\frac{1}{2}$ "	6d COMMON NAIL (SUBFLOOR, WALL) 8d COMMON NAIL (ROOF)	6
$\frac{3}{4}$ " - 1"	8d COMMON NAIL	6
$\frac{1}{2}$ " GYPSUM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 1/4" LONG; 1 1/2" SCREWS, TYPE W OR S	7
$\frac{5}{8}$ " GYPSUM SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1 1/4" LONG; 1 1/2" SCREWS, TYPE W OR S	7

ALTERNATE ATTACHMENTS

NOM. MATERIAL THICKNESS (INCHES)	DESCRIPTION OF FASTENER AND LENGTH (INCHES)	SPACING OF FASTENERS (INCHES)	
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING			
UP TO $\frac{1}{2}$ "	STAPLES 15 GA. 1 $\frac{1}{4}$ "	4	8
	NAIL 2 $\frac{1}{4}$ "	3	6
$\frac{3}{4}$ " AND $\frac{1}{4}$ "	STAPLES 16 GA. 1 $\frac{1}{4}$ "	3	6
	STAPLES 14 GA. 2	4	8
$\frac{3}{4}$ " AND $\frac{1}{4}$ "	STAPLES 15 GA. 1 $\frac{1}{4}$ "	3	6
	NAIL 2 $\frac{1}{4}$ "	4	8

TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES

MINIMUM NAIL SIZE	PENETRATION (INCHES)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (MPH)		
					EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	WIND EXPOSURE CATEGORY		
					B			C	D
6d COMMON (2.0" X 0.113")	1.5	24/0	3/8	16	6	12	110	90	85
8d COMMON (2.5" X 0.131")	1.75	24/16	7/16	16	6	12	130	110	105
				24	6	12	110	90	85

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH 2021 INTERNATIONAL RESIDENTIAL CODE.
- BUILDER MUST VERIFY ALL DIMENSIONS AND ACCURACY BEFORE CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- WINDOW AND DOOR, SIZES AND LOCATIONS, MAY VARY.
- ALL STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR #2 OR BETTER, UNLESS OTHERWISE NOTED.
- ANY WOOD IN CONTACT WITH MASONRY TO BE PRESSURE-TREATED WOOD.
- GRADE MUST SLOPE AWAY FROM STRUCTURE.
- WOOD FRAMING TO BE MIN. 8" FROM GRADE LEVEL, EXCEPT AT DOORWAYS.
- WOOD TRUSSES SHALL BE DESIGNED BY A REGISTERED ENGINEER. BUILDER MUST PROVIDE CUT-SHEETS TO CODE OFFICIAL PRIOR TO INSTALLATION.
- WALL BRACING PROVIDED BY CS-WSP AND CS-G OR CS-PF METHODS AS PER IRC SECTION 602.10
- TEMPERED GLAZING REQUIREMENTS:
(1) IN WINDOWS & DOORS WITHIN (18) INCHES OF WALKING SURFACE
(2) IN ANY INDIVIDUAL PANEL GREATER THAN (9) SQ. FT.
(3) IN WINDOWS WITHIN (24) INCHES OF ANY OPERABLE DOOR WHEN DOOR IS IN CLOSED POSITION
(4) IN PANELS WITHIN STAIRWAYS, LANDING AND RAMPS, AND WITHIN (36) INCHES HORIZONTALLY OF WALKING SURFACE, UNLESS PROTECTED WITH BARS 3" O.C. CAPABLE OF WITHSTANDING 50 LB. PER LINEAR FOOT
(5) IN PANELS ADJACENT TO STAIRWAY WITHIN (60) INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION, AND WHEN THE PANEL IS WITHIN (60) INCHES OF THE TREAD NOSING. EXCEPTION: IF HANDRAIL OR GUARDRAIL IS PROVIDED, DISTANCE CAN BE REDUCED TO (18) INCHES FROM RAILING TO ADJACENT GLAZING. APPLICANT SHALL PROVIDE CODE OFFICIAL WITH CUT-SHEETS PRIOR TO CONSTRUCTION

CODE & LOADING INFORMATION

- OCCUPANCY TYPE**
- RESIDENTIAL STORAGE:
 - BUILDING AREA = 936 S.F.
- LOADING NOTES**
- 1st FLOOR SLAB ON GRADE
 - 2nd FLOOR LIVE = 30 PSF
 - SNOW LIVE = 30 PSF
 - DEAD LOADS = 10 PSF
 - BASIC WIND SPEED = 115 MPH
 - SEISMIC DESIGN CATEGORY = B
 - FROST LINE DEPTH = 42"
 - ASSUMED SOIL CLASS = GM, GC
 - SOIL BEARING CAPACITY = 2000 PSF IF SOIL DIFFERS FROM ASSUMED ABOVE (REFER TO IRC CODES)

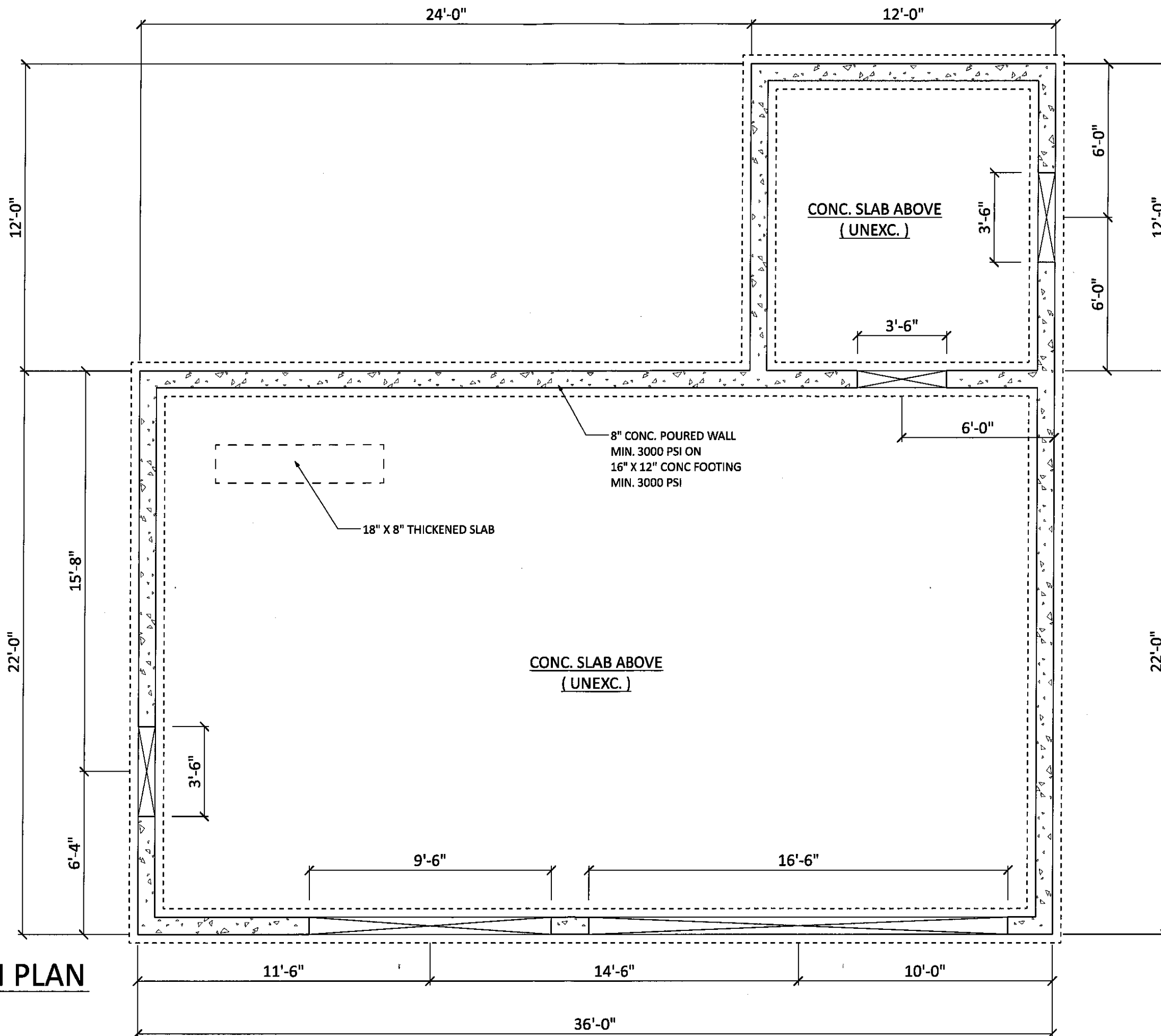
CONTACT INFORMATION

OWNER:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06812

CONTRACTOR:
Kloter Farms
236 West Road
Ellington, CT 06029

CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06812

Cover sheet
DATE RECEIVED:
4/6/23
SCALE:
AS NOTED
DRAWING NO:
D948-23



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

DRAFTING
CONCEPTS
Designing
Drafting
3D Color Renderings
5219 Old Strasburg Rd.
Kinzers, PA 17535
P. 717-442-5053
F. 717-370-5925

ANY CHANGES FROM THESE DRAWINGS
MUST BE BROUGHT TO THE ATTENTION
OF DRAFTING CONCEPTS AND APPROVED
BEFORE CONSTRUCTION. ALL DIMENSIONS
AND SITE CONDITIONS SHALL BE VERIFIED
BY CONTRACTOR PRIOR TO CONSTRUCTION.
THESE DRAWINGS SHALL NOT BE USED
FOR ANY OTHER PROJECTS.

DATE	ITEM	BY
4/26/23	FINAL	E.S.

CONTRACTOR:
Kloter Farms
246 West Road
Ellington, CT 06029

CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06824

Foundation plan

DATE RECEIVED:

4/6/23

SCALE:

AS NOTED

DRAWING NO:

D348-23

2

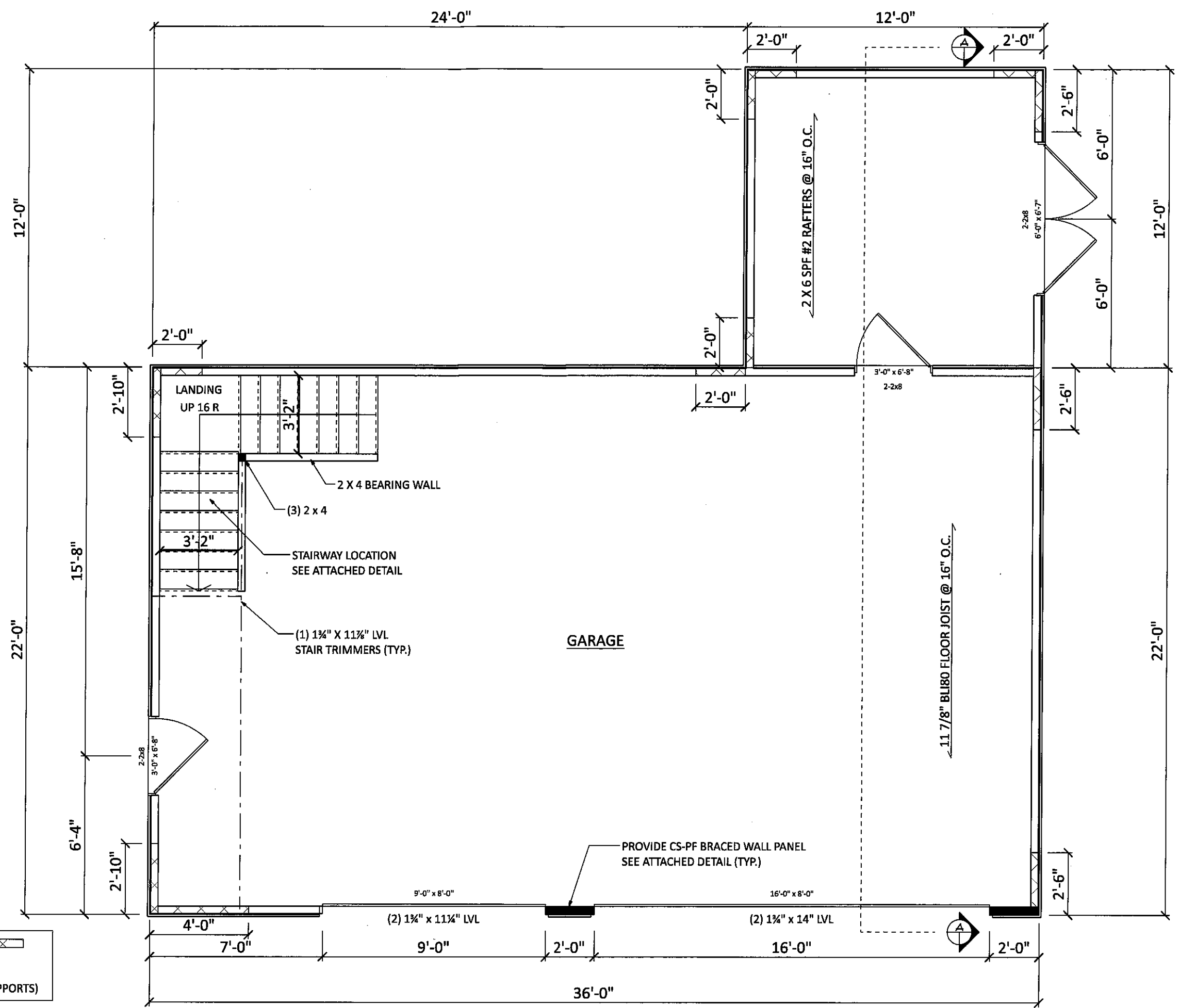
ANY CHANGES FROM THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF DRAFTING CONCEPTS AND APPROVED BEFORE CONSTRUCTION. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS.

DATE	ITEM	BY
4/26/23	FINAL	E.S.

CONTRACTOR:
Kloter Farms
246 West Road
Ellington, CT 06029

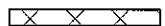
CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06822

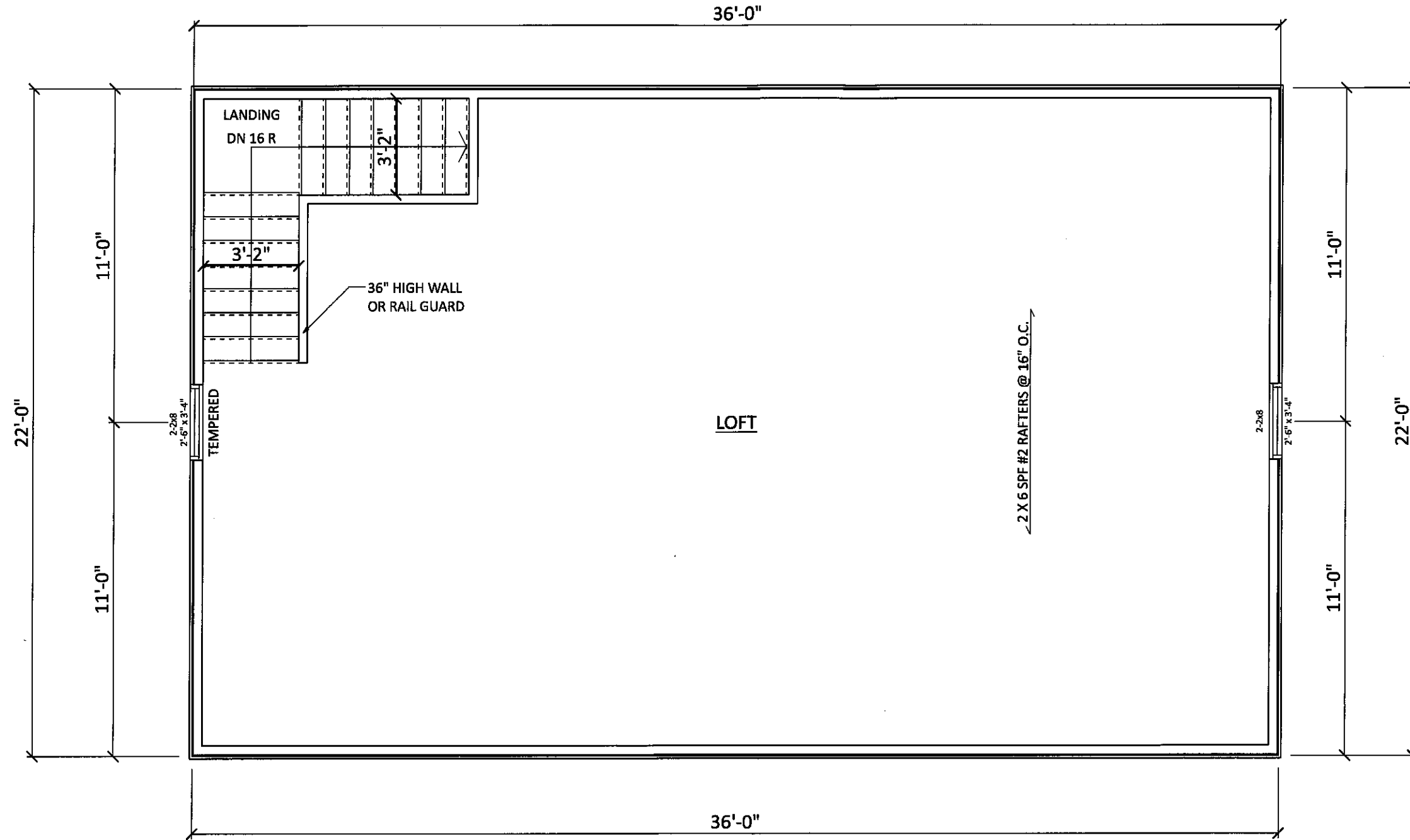
First floor plan
DATE RECEIVED:
4/6/23
SCALE:
AS NOTED
DRAWING NO:
D348-23



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

INDICATES CS-WSP BRACED WALL PANEL: 
8D COMMON (2 1/2" x 0.131") NAILS AT 6" SPACING
(PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS)



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



DRAFTING
CONCEPTS

Designing
Drafting
3D Color Renderings
5219 Old Strasburg Rd.
Kinzers, PA 17535
P. 717-442-5053
F. 717-370-5925

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246 West Road
Ellington, CT 06029

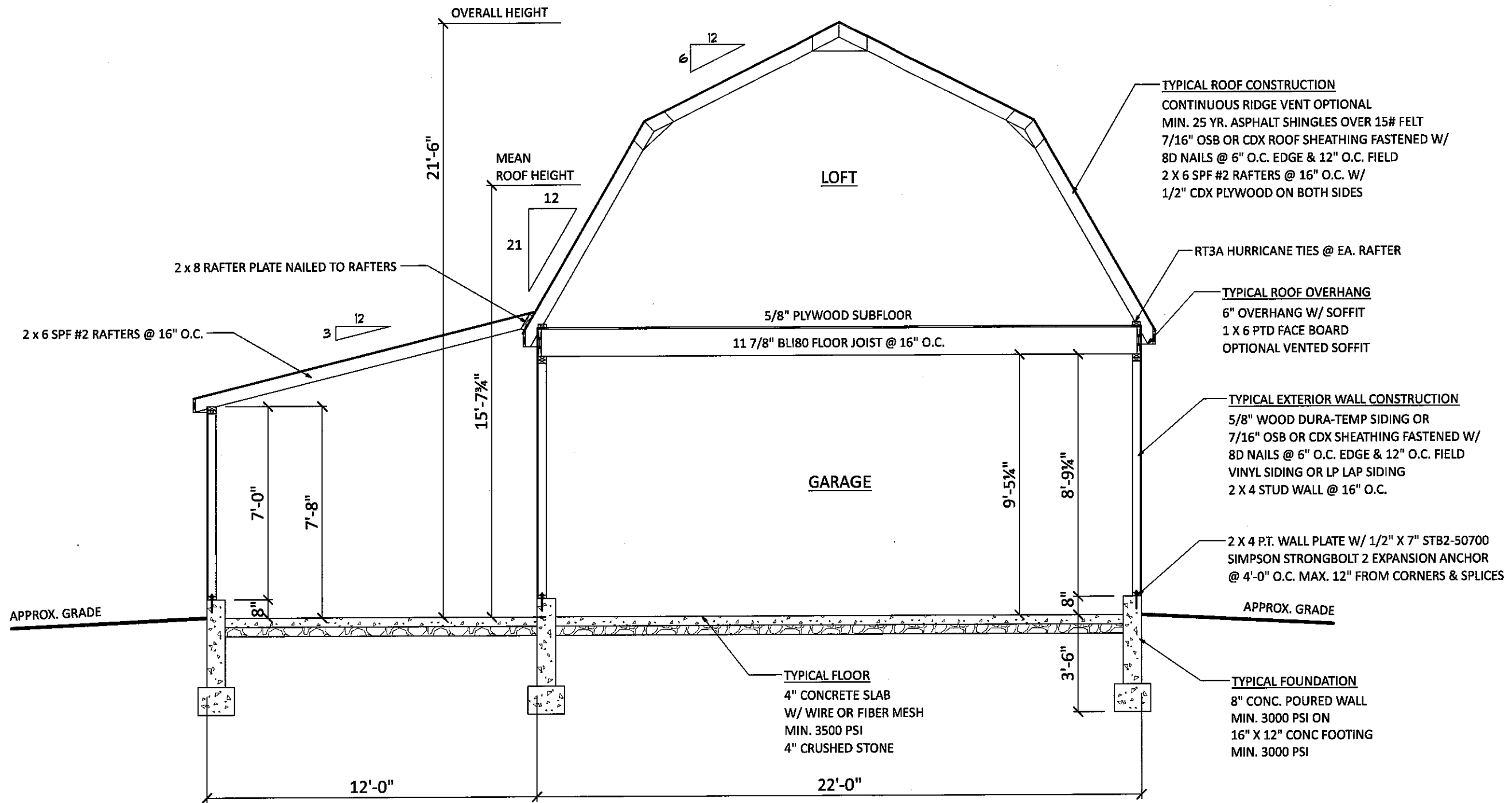
CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06822

2nd floor plan
DATE RECEIVED:
4/6/23
SCALE:
AS NOTED
DRAWING NO:
D348-23



DRAFTING
CONCEPTS
Designing
Drafting
3D Color Renderings
5219 Old Strasburg Rd.
Kinzers, PA 17535
P. 717-442-5053
F. 717-370-5925

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SECTION A

SCALE: 1/4" = 1'-0"

DATE	ITEM	BY
4/26/23	FINAL	E.S.

CONTRACTOR:
Kloter Farms
226 West Road
Ellington, CT 06029

CLIENT NAME & ADDRESS:
Eric Kuck
22 Brush Hill Road
New Fairfield, CT 06822

Section A
DATE RECEIVED:
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SCALE:
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DATE	ITEM	BY
4/26/23	FINAL	E.S.

CONTRACTOR:
Kloter Farms
216 West Road
Ellington, CT 06029

CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06812

Portal wall
DATE RECEIVED:
4/6/23
SCALE:
AS NOTED
DRAWING NO:
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HEADER SHALL BE FASTENED TO
KING STUD W/ (6) 16d SINKER NAILS

FASTEN TOP PLATE TO HEADER W/
(2) ROWS OF 16d SINKER NAILS @ 3" O.C.

1000 LB. STRAP SHALL
BE ON OPPOSITE SIDE
OF STRUCTURAL SHEATHING

USE MIN. 3/8" THICKNESS
STRUCTURAL PANEL SHEATHING

6' - 18'
(2) 1 3/4" x 11 1/4" LVL &
(2) 1 3/4" x 14" LVL HEADER

FASTEN SHEATHING TO HEADER W/ 8d
COMMON NAILS @ 3" GRID PATTERN
& 3" O.C. IN FRAMING STUDS & SILLS

(3) 2 x 4 POST

MIN. 16" FOR
8' 0" High Walls
Or 6 to 1 ratio

8'-0"

BLOCKING FOR SHEATHING
SPLICE WITHIN MIDDLE 24"
OF WALL HEIGHT

2 x 2 x 3/16
PLATE WASHER

1/2" x 7" EXPANSION ANCHOR
SIMPSON STB2-50700

CONC. FOUNDATION

SLOPED CEILING LINE

6'-8" MIN. HEADROOM

2 X 4 FRAME WALL, ACTING AS GUARD RAIL
OR RAILING BALUSTERS TO PRECLUDE
PASSAGE OF 4" DIA. SPHERE

GRASPABLE HANDRAIL
(TO RETURN TO WALL OR NEWEL POST)

WALL CAPPING (CUSTOM DESIGN)

34" - 38"

MIN. 9"

36" MIN.

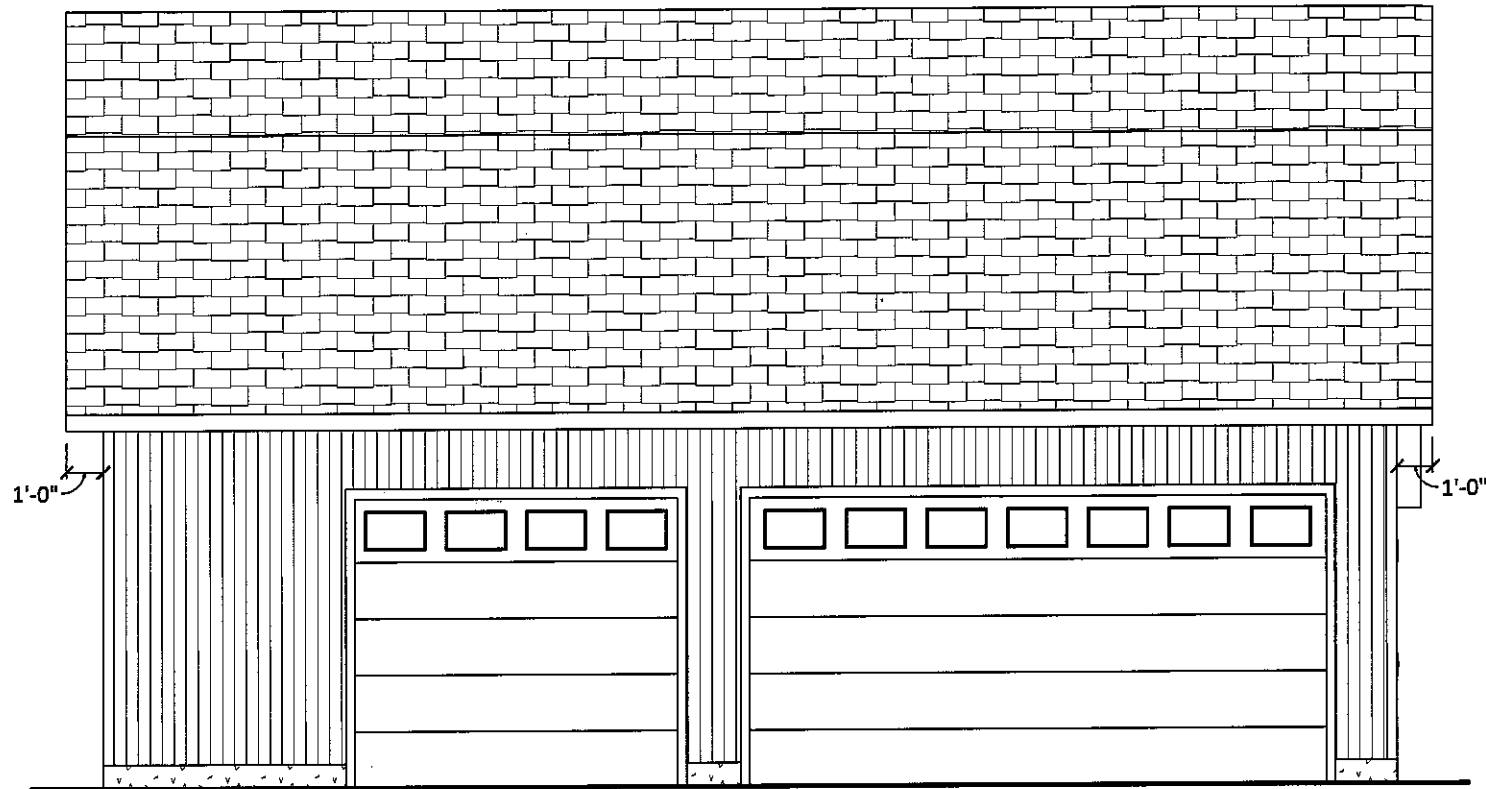
PROVIDE 1" NOSING

MAX. RISE 8 1/4"

2 X 12 SYP #1 STRINGER
(3) REQUIRED, OR PREFAB STAIRS

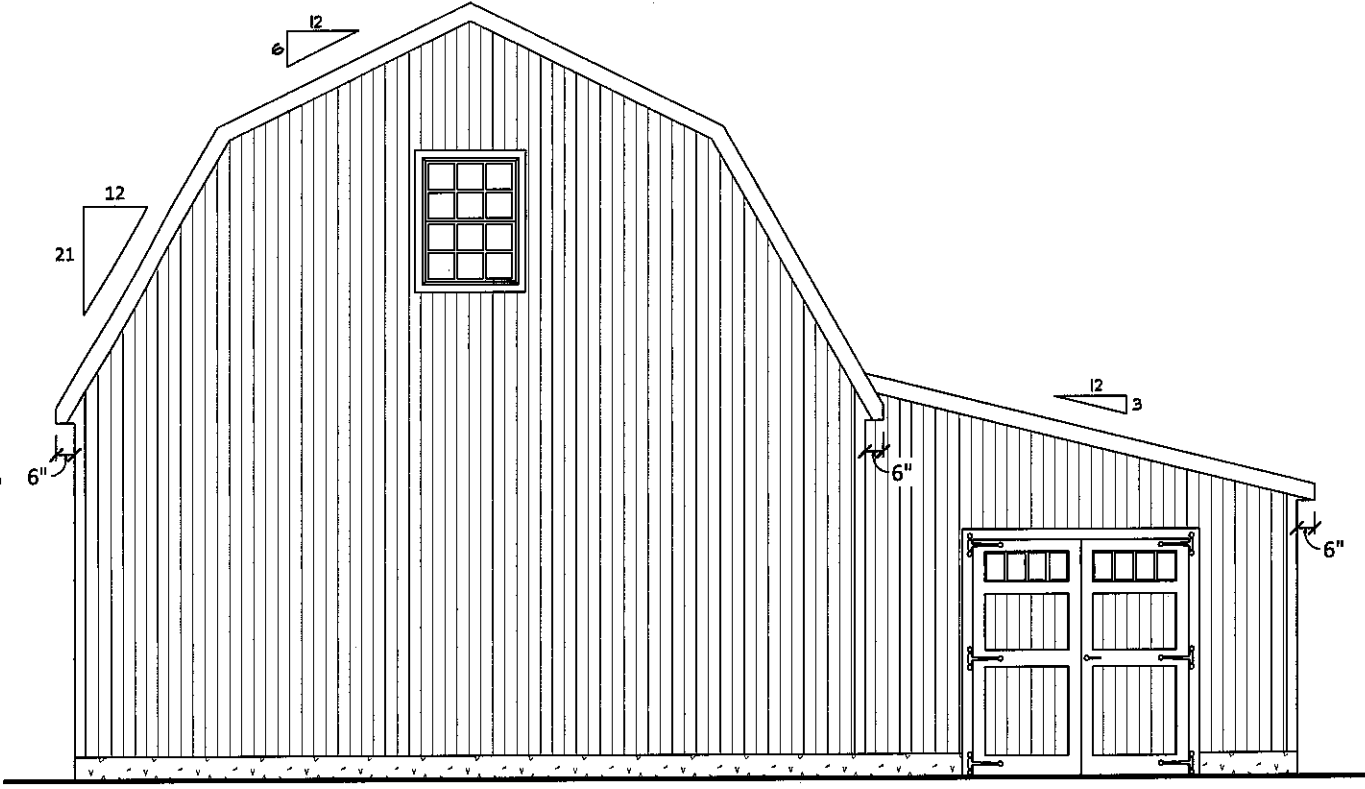
STAIR DETAIL

CS-PF PORTAL FRAME BRACED WALL DETAIL



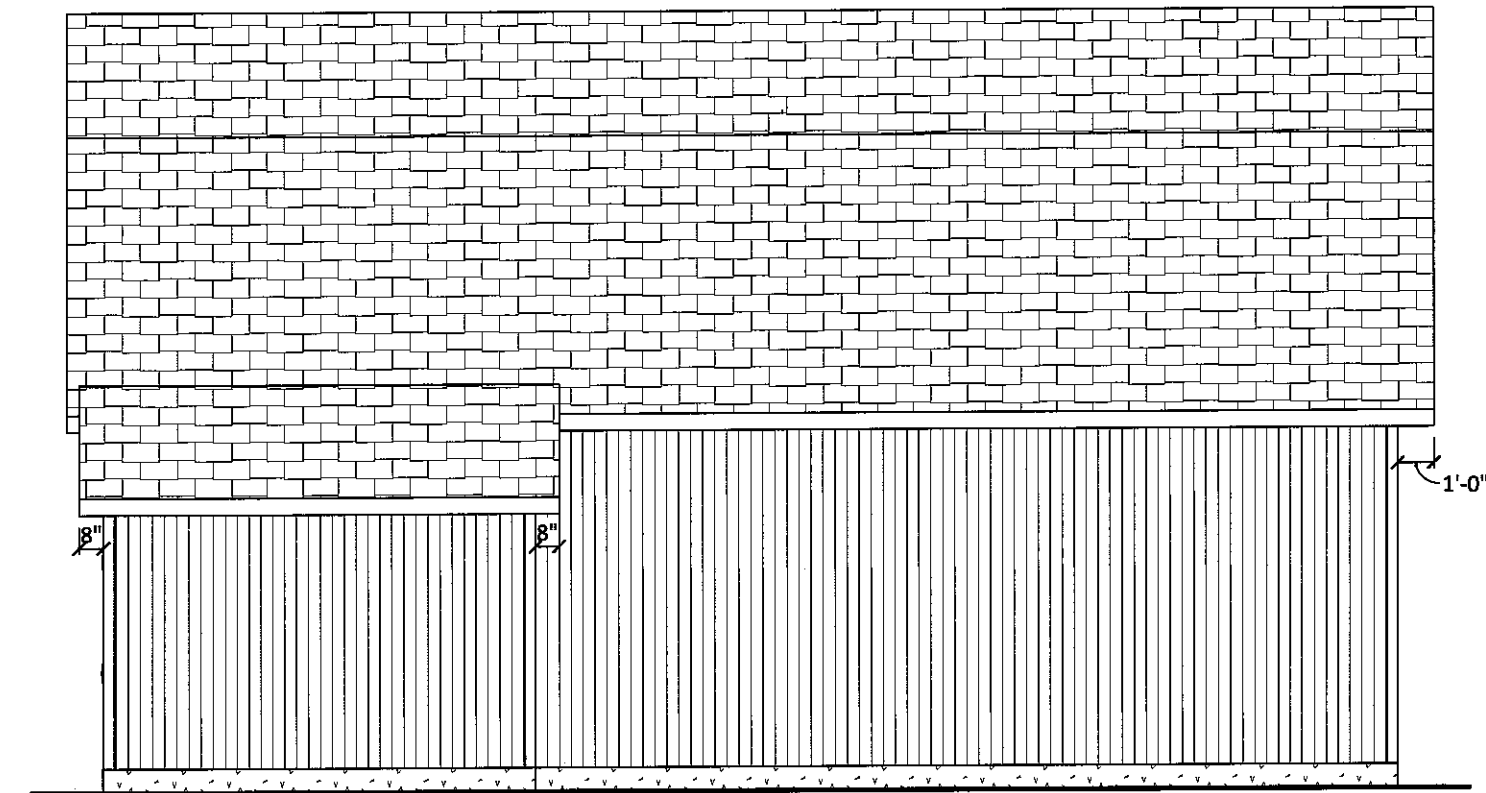
FRONT ELEVATION

SCALE: 3/16" = 1'-0"



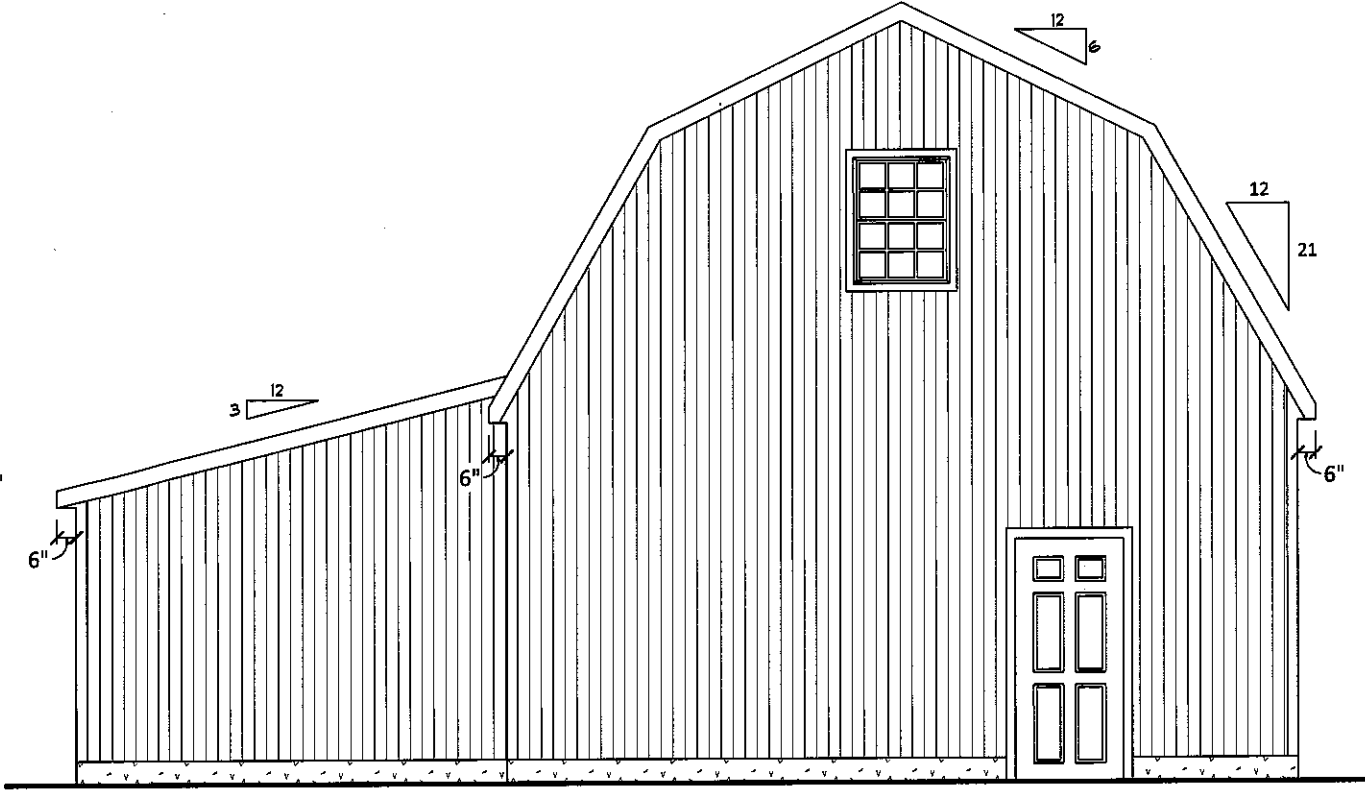
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



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DATE	ITEM	BY
4/26/23	FINAL	E.S.

CONTRACTOR:
Kloter Farms
216 West Road
Ellington, CT 06029

CLIENT NAME & ADDRESS:
Eric Kuck
12 Brush Hill Road
New Fairfield, CT 06812

Elevations

DATE RECEIVED:
4/6/23

SCALE:
AS NOTED

DRAWING NO:
D348-23



JOB SUMMARY REPORT
D348-23 Eric Kuck

Level	Member Name	Results	Current Solution	Comments
	Short Stair Trimmer	Passed	1 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL	
	Long stair trimmer	Passed	1 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL	
	16 ft. garage door	Passed	2 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL	
	9 Ft Garage Door	Passed	2 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL	

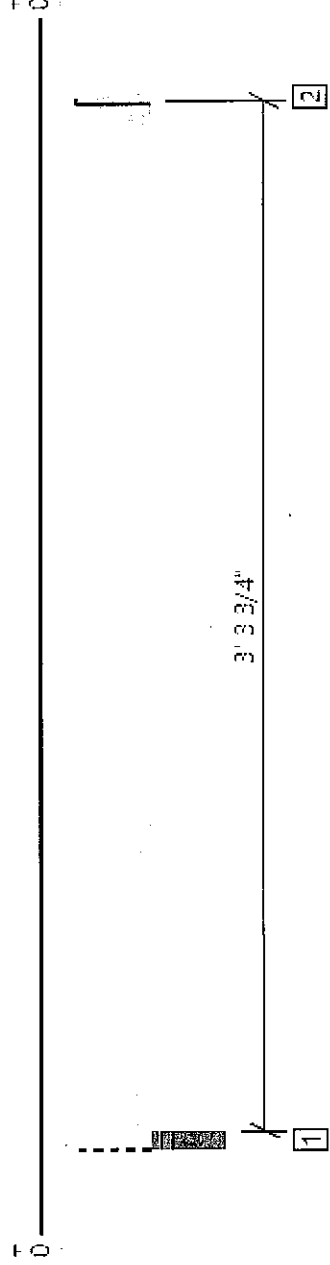
ForteWEB Software Operator	Job Notes
Emanuel Stoltzfus Drafting Concepts (717) 442-5053 many@draftingconceptsllc.net	



4/26/2023 4:24:07 PM UTC
ForteWEB v3.5
File Name: D348-23 Eric Kuck

Level, Short Stair Trimmer
1 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL

Overall Length: 3' 9"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	457 @ 3' 7 1/4"	1969 (1.50")	Passed (23%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	194 @ 2' 7 3/8"	3948	Passed (5%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	393 @ 1' 10 5/8"	8924	Passed (4%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (In)	0.003 @ 1' 10 5/8"	0.115	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.004 @ 1' 10 5/8"	0.172	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
 Member Type : Flush Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length		Loads to Supports (lbs)		Accessories		
	Total	Available	Required	Dead		Floor Live	Factored
1 - Stud wall - SPF	3.50"	3.50"	1.50"	134	.368	502	Blocking
2 - Hanger on 11 7/8" LVL beam	1.75"	Hanger ¹	1.50"	132	364	495	See note 1

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	3' 7" o/c	
Bottom Edge (Lu)	3' 7" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie

Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories
2 - Top Mount Hanger	ITS1.81/11.88	2.00"	4-10dx1.5	4-10dx1.5	4-10dx1.5	4-10dx1.5

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 3' 7 1/4"	N/A	6.1	--	
1 - Uniform (PSF)	0 to 3' 9" (Top)	6' 6"	10.0	30.0	Default Load

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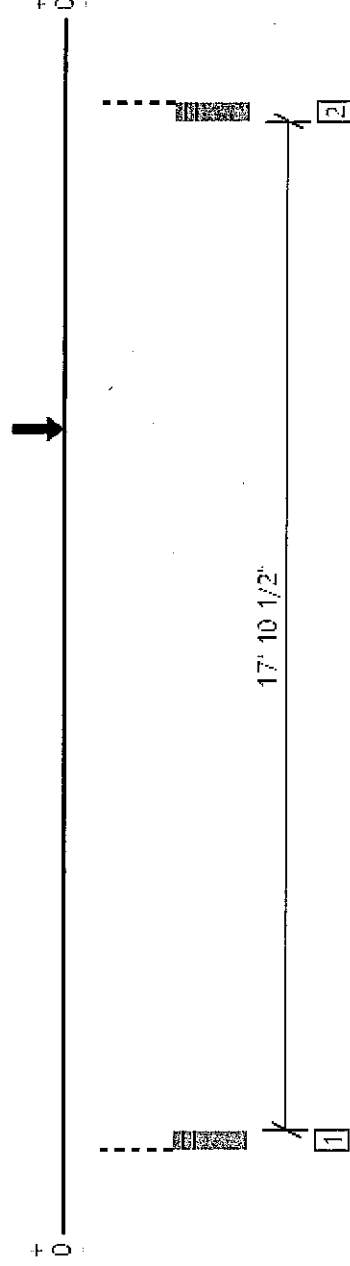
The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Emanuel Stoltzfus Drafting Concepts (717) 442-5053 manny@draftingconceptsllc.net	



Level, Long stair trimmer
1 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL

Overall Length: 18' 5 1/2"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	891 @ 18' 3 1/2"	2603 (3.50")	Passed (34%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	815 @ 17' 2 1/8"	3948	Passed (21%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	4020 @ 11' 9 5/8"	8924	Passed (45%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.343 @ 9' 6 7/8"	0.604	Passed (L/633)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.493 @ 9' 6 11/16"	0.906	Passed (L/441)	--	1.0 D + 1.0 L (All Spans)

System : Floor
 Member Type : Flush Beam
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length		Loads to Supports (lbs)	
	Total	Available	Required	Factored
1 - Stud wall - SPF	3.50"	3.50"	1.50"	481
2 - Stud wall - SPF	3.50"	3.50"	1.50"	621

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	11' 4" o/c	
Bottom Edge (Lu)	18' 6" o/c	

- Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 18' 5 1/2"	N/A	6.1	--	
1 - Uniform (PSF)	0 to 18' 5 1/2" (Top)	1' 4"	10.0	30.0	Default Load
2 - Point (lb)	12' 8 1/2" (Top)	N/A	132	364	Linked from: Short Stair Header, Support 2

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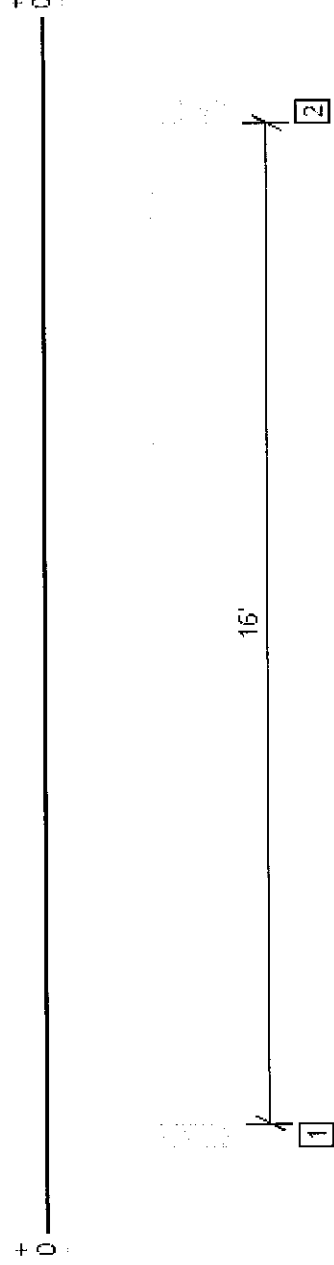
The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Emanuel Stoltzfus Drafting Concepts (717) 442-5053 manny@draftingconceptsllc.net	



Level, 16 ft garage door
2 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL

Overall Length: 16' 9"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	6108 @ 3"	11419 (4.50")	Passed (53%)	--	1.0 D + 0.75 L + 0.75 S (All Spans)
Shear (lbs)	4983 @ 1' 6 1/2"	10707	Passed (47%)	1.15	1.0 D + 0.75 L + 0.75 S (All Spans)
Moment (Ft-lbs)	24072 @ 8' 4 1/2"	27897	Passed (86%)	1.15	1.0 D + 0.75 L + 0.75 S (All Spans)
Live Load Defl. (in)	0.524 @ 8' 4 1/2"	0.542	Passed (L/372)	--	1.0 D + 0.75 L + 0.75 S (All Spans)
Total Load Defl. (in)	0.771 @ 8' 4 1/2"	0.813	Passed (L/253)	--	1.0 D + 0.75 L + 0.75 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length			Loads to Supports (lbs)		
	Total	Available	Required	Dead	Floor Live	Snow
1 - Trimmer - SPF	4.50"	4.50"	2.41"	1962	2764	2764
2 - Trimmer - SPF	4.50"	4.50"	2.41"	1962	2764	2764

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	5' 1" o/c	
Bottom Edge (Lu)	16' 9" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 16' 9"	N/A	14.3	--	--	
1 - Uniform (PSF)	0 to 16' 9"	11'	20.0	30.0	30.0	Default Load

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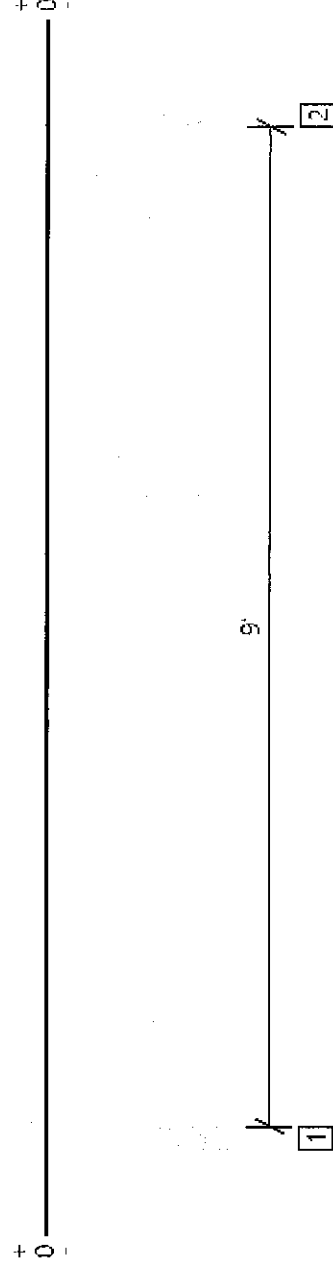
ForteWEB Software Operator	Job Notes
Emanuel Stoltzfus Drafting Concepts (717) 442-5053 manny@draftingconceptsllc.net	



Weyerhaeuser

Level, 9 Ft Garage Door
2 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL

Overall Length: 9' 9"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	3542 @ 3"	11419 (4.50")	Passed (31%)	--	1.0 D + 0.75 L + 0.75 S (All Spans)
Shear (lbs)	2588 @ 1' 3 3/4"	8603	Passed (30%)	1.15	1.0 D + 0.75 L + 0.75 S (All Spans)
Moment (Ft-lbs)	7770 @ 4' 10 1/2"	18558	Passed (42%)	1.15	1.0 D + 0.75 L + 0.75 S (All Spans)
Live Load Defl. (in)	0.114 @ 4' 10 1/2"	0.308	Passed (L/977)	--	1.0 D + 0.75 L + 0.75 S (All Spans)
Total Load Defl. (in)	0.167 @ 4' 10 1/2"	0.463	Passed (L/665)	--	1.0 D + 0.75 L + 0.75 S (All Spans)

System : Wall
 Member Type : Header
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length		Loads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Snow	Factored	Accessories
1 - Trimmer - SPF	4.50"	4.50"	1.50"	1128	1609	1609	3542	None
2 - Trimmer - SPF	4.50"	4.50"	1.50"	1128	1609	1609	3542	None

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	9' 9" o/c	
Bottom Edge (Lu)	9' 9" o/c	

- Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 9' 9"	N/A	11.5	--	--	
1 - Uniform (PSF)	0 to 9' 9"	11'	20.0	30.0	30.0	Default Load

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