

APPLICATION OR APEAL#: 16-23

PROPOSAL

### APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es)  Variance  Appeal of Cease & Desist

JUN 15 2023  
ZONING BOARD OF APPEALS

1) Applicant: Barbara A. Schaefer  
Mailing Address: 420 Pitt Street, South Plainfield, NJ  
Phone#: 908-451-2877  
Email: badstwins@aol.com

2) Premises located at: 9 Pettit Street on the (N S E  W) side of the street  
at approx. 300 feet (N S E W) from Wilson Street (nearest intersecting road).

3) Property Owner Name: Barbara A. Schaefer

Interest in Property: OWNER  CONTRACT PURCHASER  LEASEE  AGENT

4) Tax Assessor Map No.: 31 Block No.: 4 Lot No.: 18/19

5) Zone in which property is located: R-44 Area of Lot: 0.46 Ac.

6) Dimensions of Lot: Frontage: 200' Average Depth: 100'

7) Do you have any Right of Ways or Easements on the property? No

8) Is the property within 500 feet of Danbury, Sherman or New York State? No

9) Have any previous applications been filed with ZBA on this property? No

If so, give dates and application numbers: \_\_\_\_\_

10) Proposal for which variance is requested: \_\_\_\_\_

Project includes expansion of second floor, first floor kitchen addition, wraparound porch and detached three car garage. ONLY the wraparound porch and access steps require a variance.

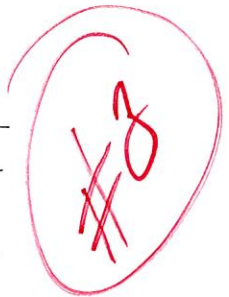
Hardship: Undersized lot (even after merging lots), two front yard setbacks (from same street), and location of neighbors' wells

11) Date of Zoning Commission Denial: May 23, 2023

12) Variance(s) Requested: ( ) USE (  ) DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: West Front to: 15.9 South Front to: 18.2  
Side to: n/a Side to: n/a



13) Use to be made of property if variance is granted: Single family residence

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: \_\_\_\_\_

SIGNATURE OF OWNER OR AGENT: Barbara A. Schaefer DATE: May 15, 2023

received  
5-16-23 (e)

**TOWN OF NEW FAIRFIELD  
ZONING REPORT**

**SUBJECT:** VERIFICATION OF NON-COMPLIANCE  
**FROM:** Evan G. White, Zoning Enforcement Officer  
**DATE:** May 23, 2023  
**PROPERTY OWNER:** Barbara A. Schaefer  
**PROPERTY ADDRESS:** 9 Pettit Street  
**APPLICANT/AGENT:** Barbara A. Schaefer  
**MAILING ADDRESS:** 3 Lancaster Road  
**ZONING DISTRICT:** R-44   **MAP:** 31   **BLOCK:** 4   **LOT:** 18/19

Please be advised that the applicant would like to (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

- 3.2.5-Minimum Lot Area & Frontage (A)
- 3.2.6-Minimum Building & Structure Setbacks (A)
- 3.2.11-Minimum Lot Dimensions
- 7.1.12-Improved Lots Not In a Validated or Approved Subdivision
- 7.2.3-Nonconforming Use of Building or Structure; Nonconforming Buildings or Structures (A+B+E)

**THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.**

**THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.**

**IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.**



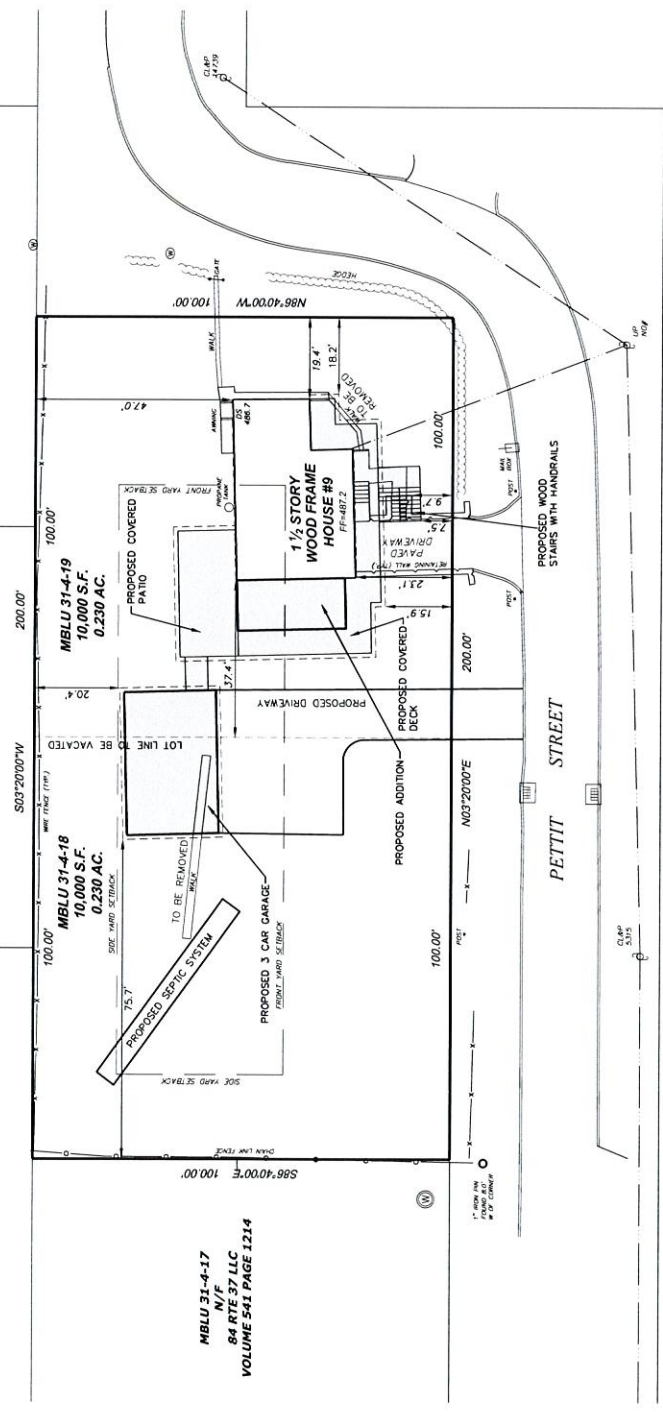
Evan White, Zoning Enforcement Officer  
Town of New Fairfield



MBLU 31-4-10  
N/F  
EDIN & E. MALICINA  
VOLUME 558 PAGE 488

MBLU 31-4-9  
N/F  
DANNY P. LYNCH, TRUSTEE  
VOLUME 534 PAGE 728

MBLU 31-4-8  
N/F  
AMY & NICHOLAS TARNOWSKI  
VOLUME 428 PAGE 1103



MBLU 31-4-17  
84 PTL 37 LLC  
VOLUME 541 PAGE 1214

ZONING REQUIREMENTS (ZONE R44)	
REQUIRED	EXISTING
LOT AREA	125' (10,000 S.F.)
FRONT YARD	15.9'
REAR YARD	15.9'
BUILDING AREA	50'
IMPERVIOUS COVERAGE	25% MAX
PRE-EXISTING NON-COMFORMITY	10.00% ...
VARIANCE NEEDED	24.68% ...
PROPOSED COVERAGES ARE BASED ON LOTS BEING MERGED	

- NOTES:
- THE SUBJECT PROPERTY LIES IN THE R-44 ZONE.
  - ALL MONUMENTATION FOUND OR SET DEPICTED HEREON.
  - VERTICAL DATUM IS ASSUMED.
  - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.

- REFERENCES:
- TAX MAPS AND ZONING MAP OF THE TOWN OF NEW FAIRFIELD
  - TOWN CLERK MAPS 238
  - VOLUME 564 PAGE 1015 (MBLU 31-4-15)
  - VOLUME 564 PAGE 1079 (MBLU 31-4-19)

DATE DESCRIPTION

**PROPOSED ZONING LOCATION SURVEY**  
PREPARED FOR  
**HELEN E. KUENSTLER-MULLEN & BARBARA A. SCHAEFER, CO TRUSTEES**  
MBLU 31-4-18 & 31-4-19  
**BALL POND ESTATES**  
LOTS 571 & 572  
**SECTION NUMBER '2'**  
7 & 9 PETTIT STREET  
NEW FAIRFIELD, CONNECTICUT

Date: 04/17/2023  
Scale: 1" = 20'  
Project: 23-715  
File: 5254  
Acad: 23715-A2T2  
Sheet: 1 OF 1  
Drawn by: KST  
Checked by: DBB

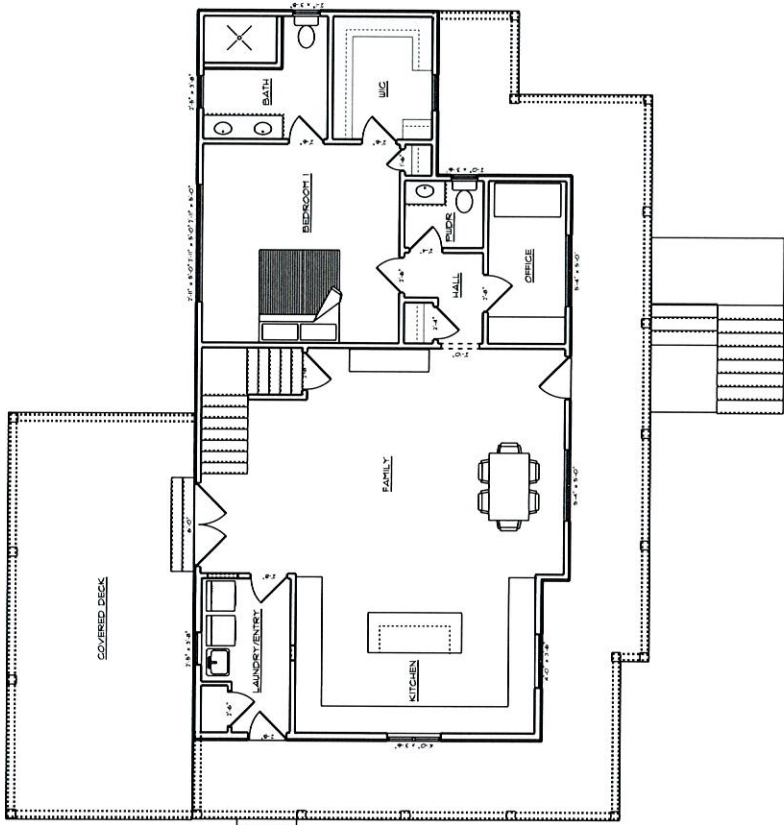
CCA ENGINEERING LLC  
40 Old New Milford Road  
Brookfield, CT 06804  
(203)775-5207  
www.ccaengineering.com

ALL RIGHTS RESERVED

I HEREBY DECLARE THAT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS ACCORDANCE WITH SECTIONS 20-200-1 THROUGH 20-200-20 PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES AND STANDARDS AND THE SEALS AND PROCEDURES OF REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS IN THE STATE OF CONNECTICUT. THIS MAP IS A RESURVEY CONFORMING TO THE STATUTES OF A HORIZONTAL CLASS A2 SURVEY. \* \* \*

DOUGLAS S. BELKNAP, L.S.  
NOT VALID WITHOUT EMBOSSED SEAL

COMP. NO.	REV.	DATE	DESCRIPTION
1	1	08.03.2014	ISSUE FOR PERMITS
2	1	08.03.2014	ISSUE FOR PERMITS
3	1	08.03.2014	ISSUE FOR PERMITS
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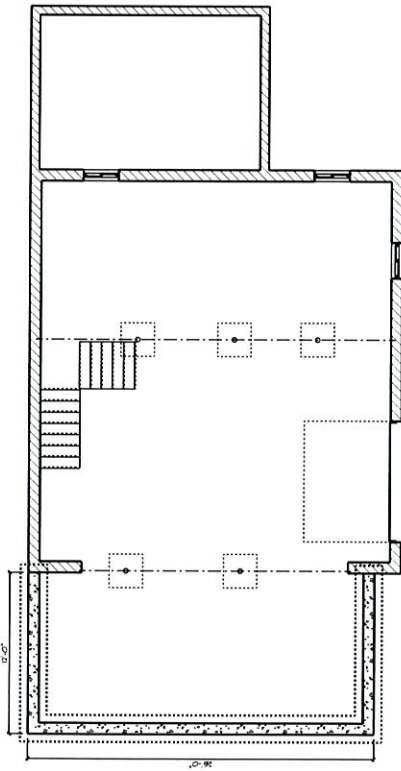


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DATE	08.03.2014 Set
DATE	08.03.2014 Revise Set
DATE	08.03.2014 Revise Set
DATE	08.03.2014 Revise Set

SCALE	FOUNDATION # First Floor
SCALE	A:100

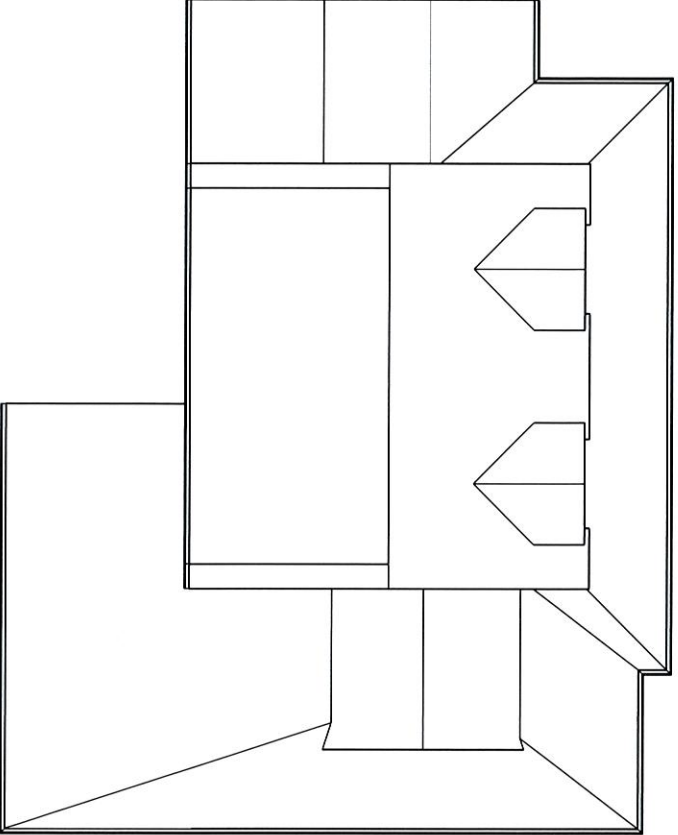
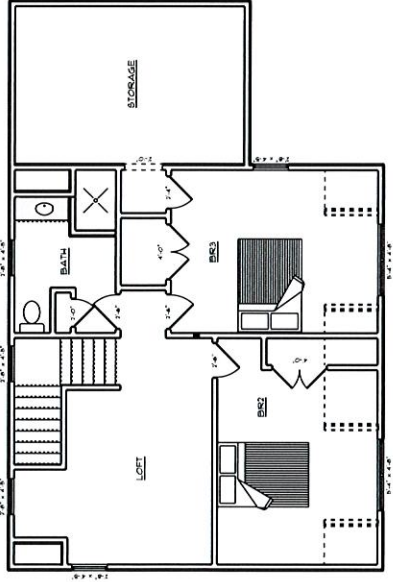
Single Family Residence Renovation for  
**Schaefer Residence**  
 9 Pratt Street, New Fairfield, CT



FOUNDATION PLAN  
 1/2" = 1'-0"

- ◆ FOUNDATION DETECTOR
- ◆ FOUNDATION DETECTOR

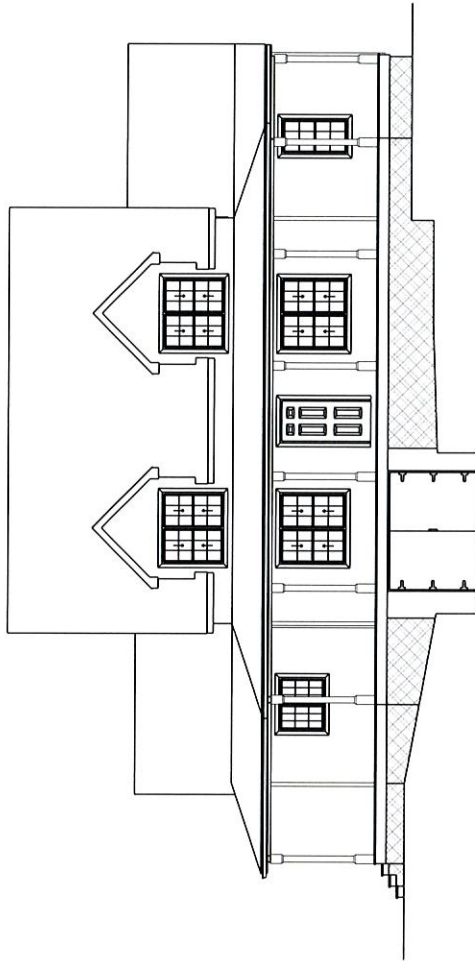
Column	Symbol	Material
A	(1)	1/2" x 4" x 8"
B	(2)	1/2" x 4" x 8"
C	(3)	1/2" x 4" x 8"
D	(4)	1/2" x 4" x 8"
E	(5)	1/2" x 4" x 8"
F	(6)	1/2" x 4" x 8"
G	(7)	1/2" x 4" x 8"
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J	(10)	1/2" x 4" x 8"
K	(11)	1/2" x 4" x 8"
L	(12)	1/2" x 4" x 8"
M	(13)	1/2" x 4" x 8"
N	(14)	1/2" x 4" x 8"
O	(15)	1/2" x 4" x 8"
P	(16)	1/2" x 4" x 8"
Q	(17)	1/2" x 4" x 8"
R	(18)	1/2" x 4" x 8"
S	(19)	1/2" x 4" x 8"
T	(20)	1/2" x 4" x 8"
U	(21)	1/2" x 4" x 8"
V	(22)	1/2" x 4" x 8"
W	(23)	1/2" x 4" x 8"
X	(24)	1/2" x 4" x 8"
Y	(25)	1/2" x 4" x 8"
Z	(26)	1/2" x 4" x 8"



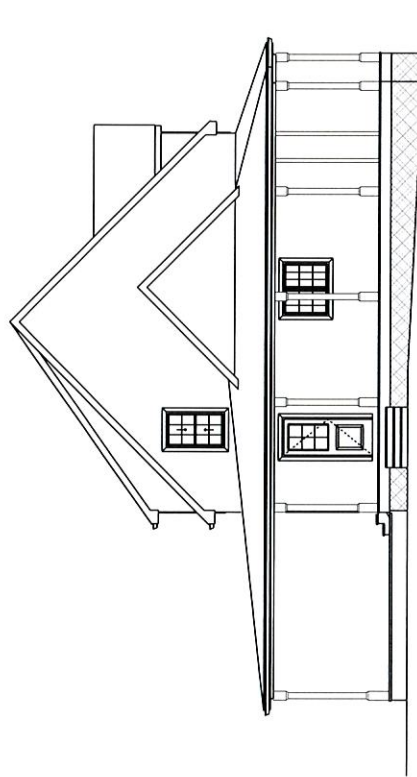
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 860.233.2544 ext.  
 20023 Spring St.  
 06423 North St.  
 06423 North St.

PROJECT: Single Family Residence Renovation for:  
**Schefer Residence**  
 9 Pettit Street, New Fairfield, CT

DATE: Second Floor  
 4 Floor Plan  
 A.101



Front Elevation  
1/4" = 1'-0"



Left Elevation  
1/4" = 1'-0"

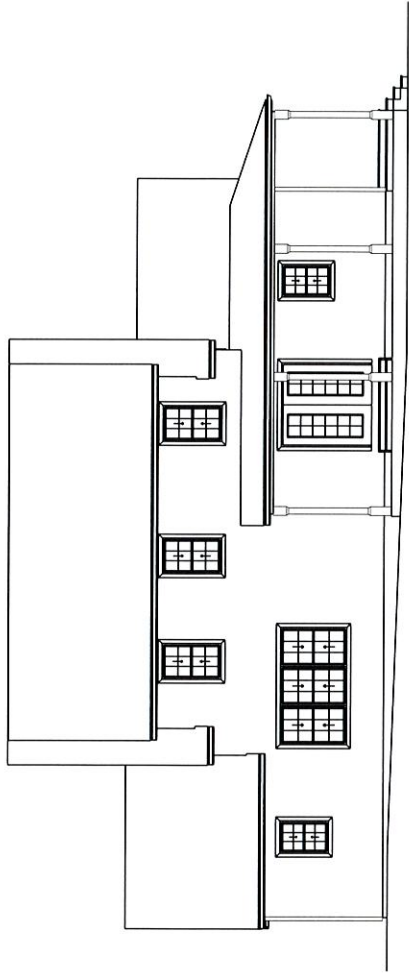
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DATE: 05.03.2014 Rev.  
05.03.2014 Rev. 01  
05.03.2014 Rev. 02  
05.03.2014 Rev. 03

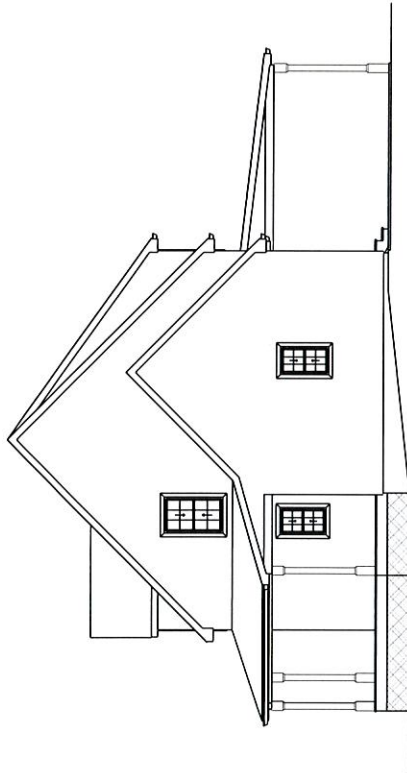
SCALE: Elevations

DATE: A.200

DATE: Single Family Residence Renovation For:  
**Schefer Residence**  
9 Pettit Street, New Fairfield, CT



Rear Elevation  
1/4" = 1'-0"



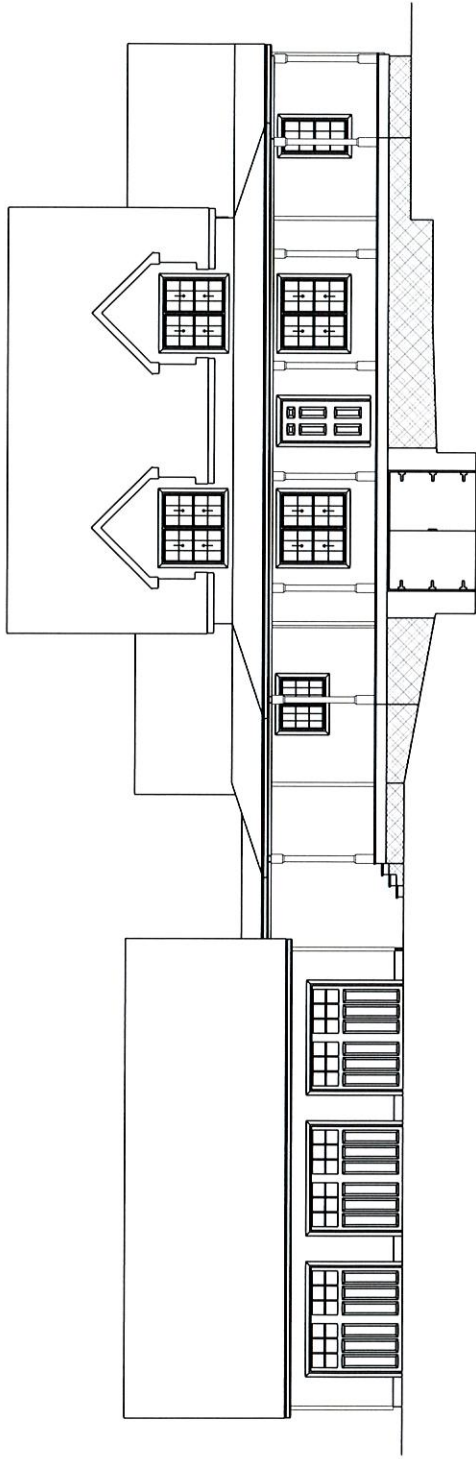
Front Elevation  
1/4" = 1'-0"

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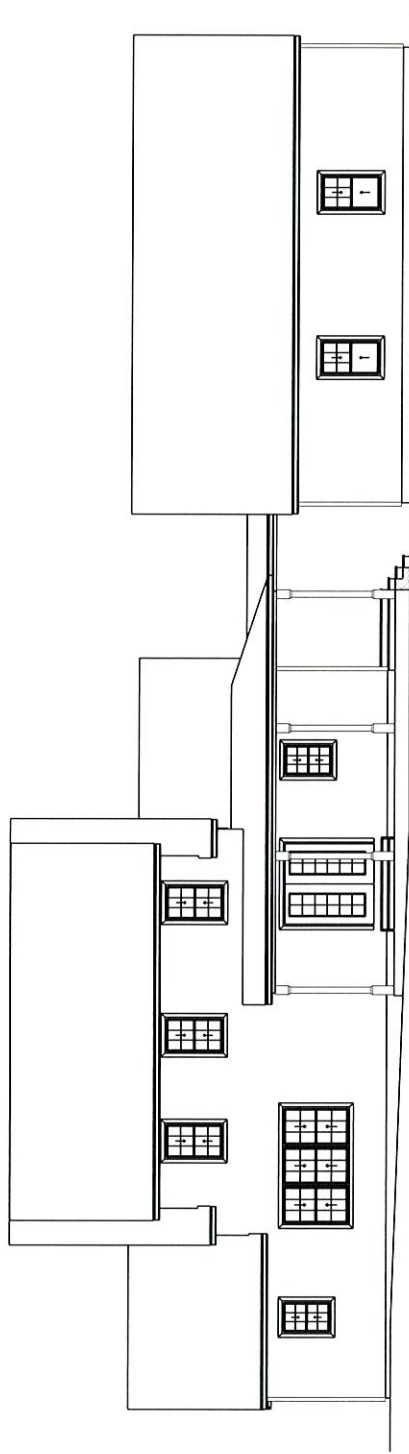
05.13.2014 Set  
05.03.2014 Rev. 01  
05.03.2014 Rev. 02  
05.03.2014 Rev. 03

DATE  
Elevation  
A.201

Single Family Residence Renovation For:  
**Schafer Residence**  
9 Pettit Street, New Fairfield, CT



Front Elevation with Garage  
1/4" = 1'-0"



Rear Elevation with Garage  
1/4" = 1'-0"

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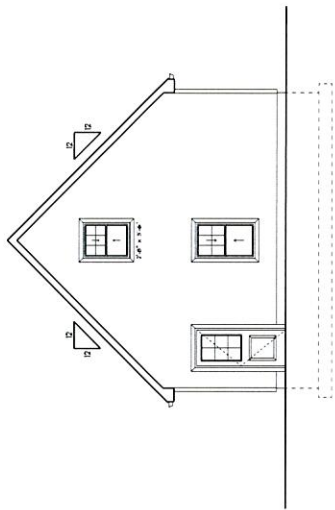
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03/03/2014

DATE  
ELEVATION  
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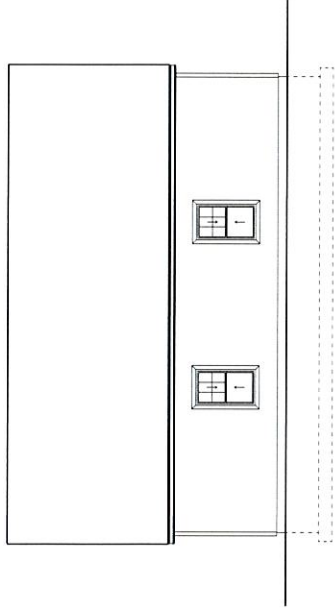
Single Family Residence Renovation For:  
**Schaefer Residence**  
9 Pettit Street, New Fairfield, CT



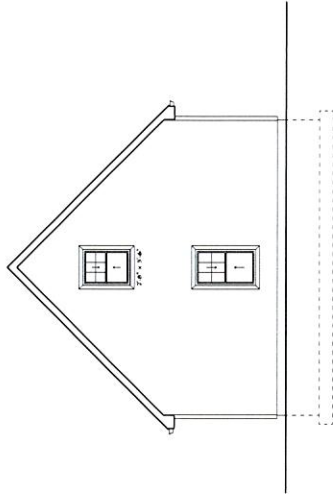




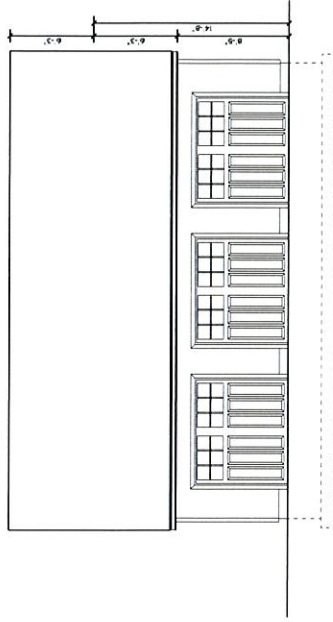
Right Elevation  
1/4" = 1'-0"



Rear Elevation  
1/4" = 1'-0"



Left Elevation  
1/4" = 1'-0"



Front Elevation  
1/4" = 1'-0"

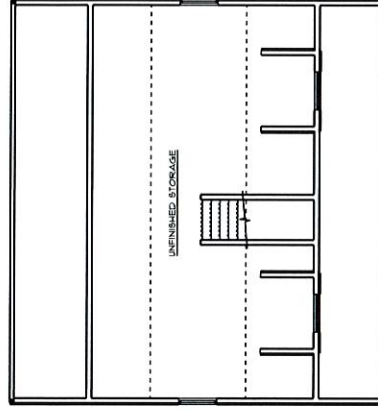
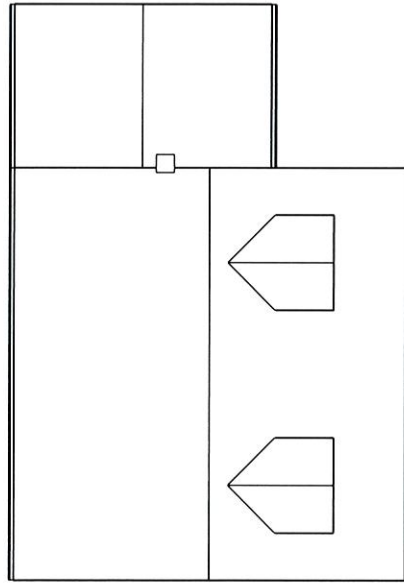
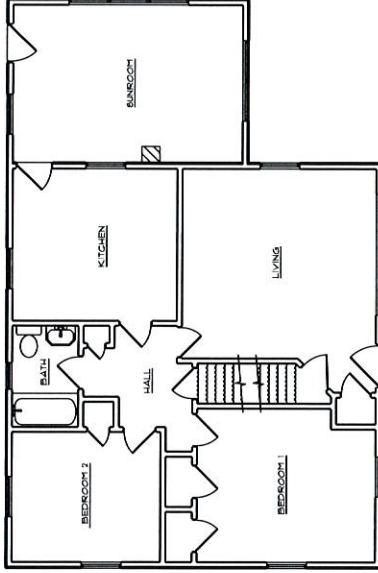
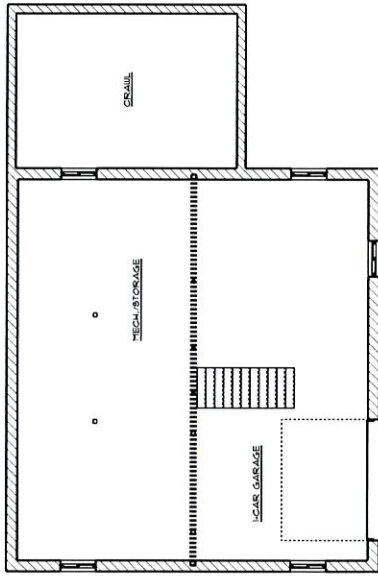
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p o box 4887  
06102 fairfield, ct

DATE: 05.13.2014  
DRAWN BY: JRM  
CHECKED BY: JRM  
SCALE: AS SHOWN

PROJECT: Garage  
Elevation

DATE: 05.13.2014  
SCALE: G.100

DATE: Single Family Residence Renovation For:  
**Schefer Residence**  
9 Pettit Street, New Fairfield, CT

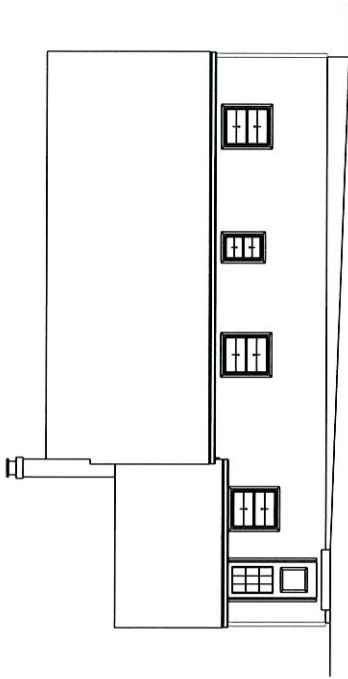


 www.residentialengineering.com p 860.467.8877	DATE: 08.30.2014 Set 09.02.2014 Survey Set 04.03.2015 Narrative Set 04.03.2015 Permit Set
	DRAWING: EX-100 SHEET: EX-100

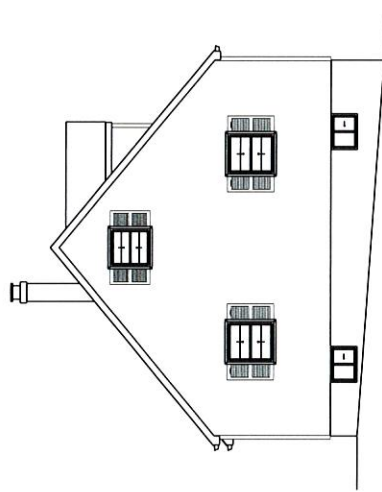
PROJECT: Single Family Residence Renovation for  
**Schaefer Residence**  
 9 Pettit Street, New Fairfield, CT



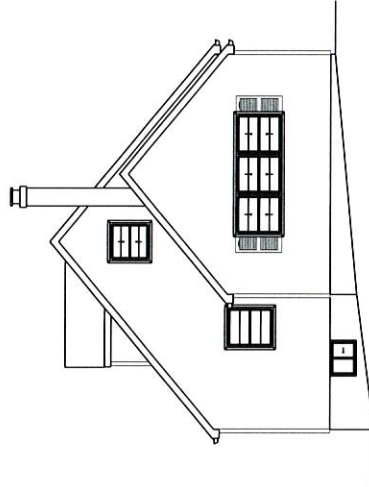
Existing Front Elevation  
1/4" = 1'-0"



Existing Rear Elevation  
1/4" = 1'-0"



Existing Left Elevation  
1/4" = 1'-0"



Existing Right Elevation  
1/4" = 1'-0"

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DATE: 08.12.2014  
BY: 08.12.2014  
PROJECT: 08.12.2014

SCALE: 1/4" = 1'-0"

EX-100

Single Family Residence Renovation for:  
**Schaefer Residence**  
9 Pettit Street, New Fairfield, CT