

APPLICATION OR APEAL#: 06-23

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es)  Variance  Appeal of Cease & Desist



1) Applicant: Joe Reilly Spruce Ridge Customers  
Mailing Address: 35 Bull Pond Rd E.  
New Fairfield CT 06822 Phone#: 914 403 4593  
Email: Reillybuilder@aol.com

2) Premises located at: 8 Hewlett Rd on the (N S E W) side of the street  
at approx. ~~150~~ 1250 feet (N S E W) from Hammond Rd (nearest intersecting road).

3) Property Owner Name: Mega Iron Builders (Arkadiusz Herlacz)  
Interest in Property: OWNER  CONTRACT PURCHASER  LEASEE  AGENT

4) Tax Assessor Map No.: 38 Block No.: 2 Lot No.: 7

5) Zone in which property is located: R-44 Area of Lot: 24803

6) Dimensions of Lot: Frontage: 205.10 Average Depth: 155

7) Do you have any Right of Ways or Easements on the property? none

8) Is the property within 500 feet of Danbury, Sherman or New York State? no

9) Have any previous applications been filed with ZBA on this property? no

If so, give dates and application numbers: \_\_\_\_\_

10) Proposal for which variance is requested: New Home Construction

Hardship: Wetlands at rear of property, cannot move septic area

11) Date of Zoning Commission Denial: March 28, 2023

12) Variance(s) Requested: ( ) USE (  ) DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: 40' to 22' Rear to: \_\_\_\_\_  
Side to: \_\_\_\_\_ Side to: \_\_\_\_\_



13) Use to be made of property if variance is granted: New Residence to be used  
All green

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: \_\_\_\_\_



SIGNATURE OF OWNER OR AGENT: Joe Reilly DATE: 3/6/23



**TOWN OF NEW FAIRFIELD  
ZONING REPORT**

**SUBJECT:** VERIFICATION OF NON-COMPLIANCE

**FROM:** Evan G. White, Zoning Enforcement Officer

**DATE:** March 28, 2023

**PROPERTY OWNER:** Mega Tron Builders LLC. (Arkadiusz Builders)

**PROPERTY ADDRESS:** 8 Hewlett Road

**APPLICANT/AGENT:** Joe Reilly, Spruce Ridge Craftsmen

**MAILING ADDRESS:** 35 Ball Pond Road E.

**ZONING DISTRICT:** R-44    **MAP:** 38    **BLOCK:** 2    **LOT:** 7

Please be advised that the applicant would like to propose the construction of a new SFD (Single Family Dwelling) (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.2.5-Minimum Lot Area & Frontage (A)

3.2.6-Minimum Building & Structure Setbacks (A)

3.2.11-Minimum Lot Dimensions


7.1.12-Improved Lots Not In a Validated or Approved Subdivision

7.2.3-Nonconforming Use of Building or Structure; Nonconforming Buildings or Structures (A+B+E)

**THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.**

**THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.**

**IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.**

  
\_\_\_\_\_  
Evan White, Zoning Enforcement Officer  
Town of New Fairfield



Donald S. Baillie  
Jay N. Hershman\*\*  
Lauren A. Scotton†  
Tamara L. Peterson  
Christina M. Lopes

**BAILLIE &  
HERSHMAN P.C.**  
— LAW OFFICES —

www.bhhlegal.com • info@bhhlegal.com

*Connecticut Main Office*  
90 HINMAN STREET  
CHESHIRE, CONNECTICUT 06410  
TELEPHONE: (203) 272-7000  
FAX: (203) 272-7100

*Offices in Massachusetts*

*Of Counsel:*  
Gary J. Kravetz\*\*

ALSO ADMITTED TO PRACTICE IN:  
\* DISTRICT OF COLUMBIA  
\* MASSACHUSETTS  
† NEW YORK  
o MAINE

April 12<sup>th</sup>, 2022

J. Timothy Deakin  
48 North Street  
Danbury, CT 06810

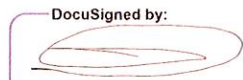
Re: Mega Tron Builders, LLC to Spruce Ridge Craftsmen, Inc.

To Whom it May Concern,

Arkadiusz Harlacz, Managing Member of Mega Tron Builders, LLC of 8 Hewlett Road in New Fairfield, CT 06812. Hereby authorize additional permits to be pulled in order to allow this closing to move forward.

Should you have any questions, please contact my Attorney's office.

Thank you,

DocuSigned by:  


4/12/2022

99667A05CF6D4A3  
Mega Tron Builders, LLC By: Arkadiusz Harlacz, Managing Member

TLP/cd  
Encls.



**GENERAL NOTES**

1. SWALE AND/OR GRADE SURFACE WATER, AND PIPE ROOF AND FOOTING DRAINS AWAY FROM THE SEPTIC SYSTEM AREA DOUBLE PIPE CURTAIN DRAIN IF ROOF OR FOOTING DRAINS ARE IN THE SAME TRENCH.
2. THE SEPTIC TANK AND LEACHING SYSTEM MAY BE REORIENTED IN THE FIELD TO ADJUST TO SITE CONDITIONS WITH THE APPROVAL OF THE ENGINEER AND THE HEALTH DEPARTMENT.
3. PRIOR TO THE START OF CONSTRUCTION OF THE DWELLING OR INSTALLATION OF THE SEPTIC SYSTEM, THE PROPERTY LINES SHALL BE CLEARLY LOCATED AND STAKED BY A SURVEYOR.
4. THE LEACHING AREA SHALL BE LOCATED BY FIELD STAKES OR MARKERS, PRIOR TO ANY SITE WORK, IN ORDER TO CLEARLY IDENTIFY THE LEACHING AREA AND TO PROTECT IT FROM ALL CONSTRUCTION TRAFFIC & POTENTIAL DAMAGE.
5. THE INSTALLER SHALL CONTACT THE ENGINEER & DEPARTMENT OF HEALTH AT LEAST 24 HOURS PRIOR TO THE START OF THE SCARIFICATION PROCESS FOR THE LEACHING AREA OR THE INSTALLATION WILL NOT BE APPROVED. A SCARIFICATION INSPECTION BY THE HEALTH DEPARTMENT SANITARIAN, DESIGN ENGINEER, AND THE LICENSED INSTALLER OF RECORD SHALL BE CONDUCTED PRIOR TO THE PLACEMENT OF ANY "SELECT MATERIAL" OR FILL IN THE PRIMARY LEACHING AREA. IF THERE ARE ANY PROBLEMS NOTED DURING INSPECTION (BY THE SANITARIAN, ENGINEER, OR INSTALLER) FURTHER TESTING AND/OR PERMIT REVOCATING MAY TAKE PLACE IN ORDER TO CONFIRM CONFORMANCE WITH THE PROPOSED DESIGN CRITERIA AND PROTECTION OF THE SSOS. THE SYSTEM SHALL BE BACKFILLED WITHIN TWO (2) WORKING DAYS FOLLOWING APPROVAL.
6. THE HEALTH CODE OF THE STATE OF CONNECTICUT IS A PART OF THIS DESIGN. NOTHING HEREON SHALL BE INTERPRETED AS INTENDING TO REDUCE THE MINIMUM REQUIREMENTS OR DELETING ANY PART OF SAID CODE.
7. PRIOR TO EXCAVATION FOR ANY REASON, "CALL BEFORE YOU DIG" SHALL BE NOTIFIED. (IF ANY UTILITY INTERFERENCE IS ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED.)
8. THERE IS NO OBVIOUS INTERFERENCE REGARDING SEPARATION DISTANCES BETWEEN EXISTING AND PROPOSED SEPTIC SYSTEMS AND/OR WELLS TO THE BEST OF OUR KNOWLEDGE.
9. AS-BUILT PLANS ARE TO BE SUBMITTED BY THE ENGINEER TO THE HEALTH DEPARTMENT PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR CERTIFICATE TO DISCHARGE.
10. THIS SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN CONFORMS WITH ACCEPTED ENGINEERING DESIGN PRINCIPLES. IT SHOULD NOT BE INTERPRETED AS A GUARANTEE AGAINST FAILURE DUE TO UNFORESEEN FUTURE CIRCUMSTANCES SUCH AS IMPROPER INSTALLATION OF THE SYSTEM, IMPROPER SITE GRADING, EXCESSIVE WATER USAGE, LACK OF MAINTENANCE OR CHANGES IN SOIL OR GROUND WATER CHARACTERISTICS, BEYOND THE SCOPE OF NORMAL SITE INSPECTIONS OR SOIL TESTING.
11. THIS PLAN IS INTENDED TO DEPICT THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AND EROSION & SEDIMENTATION CONTROL MEASURES ONLY. ADDITIONAL INFORMATION ON THIS PLAN IS THE RESULT OF SPECIFIC REQUEST BY THE CLIENT AND IS NOT INTENDED TO BE A DESIGN OF THE SAME.
12. THE SEPTIC TANK SHALL BE INSPECTED AT INTERVALS OF NO MORE THAN EVERY TWO YEARS TO DETERMINE A MAINTENANCE SCHEDULE.
13. THE DEPTH OF FILL SHOWN ON THE PROFILE AND IN THE DESIGN CRITERIA IS BASED UPON THE PROFILE SECTION LINE ONLY. MORE OR LESS FILL MAY BE REQUIRED IN OTHER AREAS OF THE SEPTIC SYSTEM.
14. REFER TO PROFILE FOR FINISHED GRADE REQUIREMENTS.
15. THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL PREPARED BY THE CONNECTICUT COMMISSION ON SOIL AND WATER CONSERVATION, 2002 AND AS AMENDED SHALL BE FOLLOWED MAY BALES AND/OR SILT FENCE SHALL BE INSTALLED PRIOR TO FILLING OR CONSTRUCTION OF THE DWELLING, DRIVEWAY, WELL OR SEPTIC SYSTEM AS REQUIRED.
16. THE NEED TO INSTALL A CURTAIN DRAIN SHALL BE FIELD DETERMINED PRIOR TO THE INSTALLATION OF THE SEPTIC SYSTEM (REFER TO NOTE #5).
17. FUEL OIL TANKS MUST BE INSTALLED IN DWELLING BASEMENT.
18. ALL SELECT FILL MUST BE PLACED ON THE PERIMETER OF THE SEPTIC SYSTEM AREA AND PUSHED TOWARDS THE MIDDLE TO PREVENT DRIVING/COMPACTING OF THE ORIGINAL SOIL. ALL FILL SHALL BE PERCOLATION TESTED BY THE ENGINEER PRIOR TO INSTALLATION OF THE SEPTIC SYSTEM.
19. CAREFULLY REMOVE THE ORGANIC (TOPSOIL) FROM THE SEPTIC SYSTEM PRIMARY AREA WITH AN EXCAVATOR. DO NOT DISTURB OR COMPACT THE SEPTIC SYSTEM AREA IN ANY MANNER OR THIS PLAN SHALL BE DEEMED VOID. THE SEPTIC SYSTEM AREA SHALL BE STAKED PRIOR TO FILLING.
20. PROPERTY LINES BEARINGS AND DISTANCES TAKEN FROM A-2 SURVEY PREPARED BY STONEY & ASSOCIATES SURVEYORS P.C. DATED 12/17/22.
21. EXISTING GRADE CONTOURS TAKEN FROM A-2 SURVEY PREPARED BY STONEY & ASSOCIATES SURVEYORS P.C. DATED 12/17/22.
22. A SEWAGE PUMPING STATION WILL BE REQUIRED IF THE BUILDING FIRST FLOOR CANNOT BE CONSTRUCTED HIGHER THAN THE LEACHING AREA.
23. THE LEACHING SYSTEM AREA MUST BE FILLED WITH SELECT COARSE SAND SEPTIC FILL AND RETESTED PRIOR TO THE INSTALLATION OF THE SEPTIC SYSTEM.
24. A BENCH MARK IS TO BE SET BY THE PROJECT SURVEYOR PRIOR TO THE START OF CONSTRUCTION.
25. THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING "SELECT MATERIAL" IS THAT OF THE LICENSED INSTALLER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVER COMPACTON AND SILTATION ONCE EXPOSED.

**SPECIFICATIONS**

1. THE SEPTIC TANK SHALL BE 1,000 GALLON PRECAST CONCRETE TYPE ST-1,000-2 AS MANUFACTURED BY EASTERN PRECAST CO. INC. OR APPROVED EQUAL. TANK SHALL BE REINFORCED FOR 40 PSI OVERLOADING IF LOCATED UNDER TRAFFIC AREAS. TANK SHALL HAVE PRECAST 2/3-1/3 Baffle.
2. DISTRIBUTION PIPE SHALL BE 3" DIA. PVC ASTM D2729 OR 4" DIA. PVC SDR-35 SOLID WALL TIGHT JOINT PIPE OR APPROVED EQUAL.
3. PIPE FROM DWELLING SHALL BE 4" ASTM D1785 PVC SCHEDULE 40, R.H.C.I. C-900 PVC W/ RUBBER GASKETS OR APPROVED EQUAL. SURFACE CLEAN-OUTS OR MANHOLES SHALL BE PROVIDED FOR EACH 75' OF LENGTH. PIPE SLOPE SHALL BE 1/4" PER FOOT MIN.
4. SELECT SEPTIC FILL SHALL CONFORM TO CONNECTICUT D.O.T. SPECIFICATIONS M.02.06-1B AND PLACED IN 8" TO 12" LIFTS WITH COMPACTION EQUAL TO PROCTER DENSITY OF 90% TO 95% FILL SHALL PERC AT A RATE EQUAL TO OR FASTER THAN THE ORIGINAL SOIL.
5. DISTRIBUTION BOXES SHALL BE DB-4 (OR STB-8 W/Baffle FOR PUMPED SYSTEM) PRECAST CONCRETE AS MANUFACTURED BY EASTERN PRECAST CO. INC. OR APPROVED EQUAL. (PLASTIC DISTRIBUTION BOXES ARE AN ACCEPTABLE ALTERNATE).
6. FORCE MAIN SHALL BE 2" DIA. PVC TIGHT JOINT PIPE C-900, ASTM 1785, ASTM D2241 OR APPROVED EQUAL. (REQUIRED FOR PUMPING STATION DESIGN ONLY).
7. FILTER FABRIC SHALL BE NON-WOVEN FABRIC MEETING A MINIMUM AVERAGE ROLL VALUE OF 1.502, FID AND PERMEABILITY OF 1.0 SEC AND A TRIANGULAR TEAR OF 15 LBS.
8. "SELECT FILL MATERIAL" AND "SELECT BACKFILL MATERIAL" PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPRISED OF CLEAN SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:
  - A) THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN (3) INCHES.
  - B) UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 Sieve (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
  - C) THE MATERIAL THAT PASSES THE #4 Sieve IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
  - D) THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

| SIEVE NO. | PERCENT PASSING          | WET SIEVE | DRY SIEVE |
|-----------|--------------------------|-----------|-----------|
| #4        | 100%                     | 100%      | 100%      |
| #10       | 70%-100%                 | 70%-100%  | 70%-100%  |
| #40       | 10%-50% (SEE NOTE BELOW) | 10%-75%   | 10%-75%   |
| #100      | 0%-20%                   | 0%-5%     | 0%-5%     |
| #200      | 0%-5%                    | 0%-2.5%   | 0%-2.5%   |

NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

**DEEP TEST DATA**

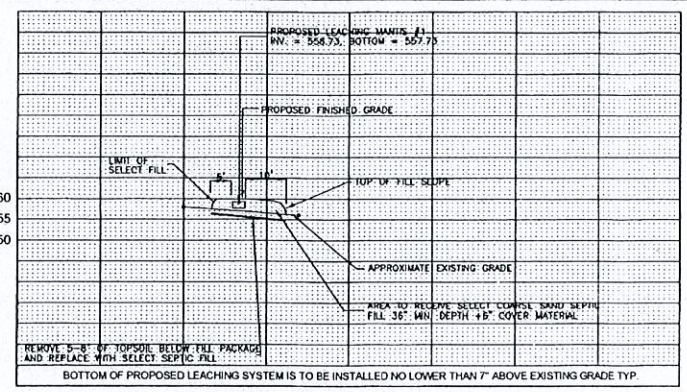
8/10/22

- |  |                  |   |                  |
|--|------------------|---|------------------|
| D1 #1                                      | 0' - 8" TOP SOIL | D1 #3                                       | 0' - 5" TOP SOIL |
| 0' - 24" SHADY SANDY LOAM w/ROOTS          | NO LEDE @ 84"    | 0' - 21" SHADY SANDY LOAM w/ROOTS           | NO LEDE @ 84"    |
| 24" - 64" W/ROOTS WETTED SATY SAND HARDPAN | NO LEDE @ 84"    | 21" - 68" W/ROOTS WETTED SATY SAND HARDPAN  | NO LEDE @ 84"    |
| 64" - 84" W/ROOTS WETTED SATY SAND HARDPAN | NO LEDE @ 84"    | 84" - 100" W/ROOTS WETTED SATY SAND HARDPAN | NO LEDE @ 84"    |

**PERCOLATION TEST DATA**

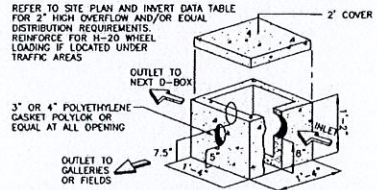
8/10/22

| 23" DEEP | PERC. #1 | 8/10/22 |
|----------|----------|---------|
| 0        | 9.250    |         |
| 10       | 12.000   |         |
| 20       | 13.750   |         |
| 30       | 15.000   |         |
| 40       | 15.750   |         |
| 50       | 16.250   |         |
| 60       | 16.750   |         |



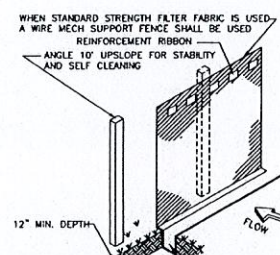
**PROFILE SECTION A-A**

SCALE: 1"=20' HORIZONTAL AND VERTICAL



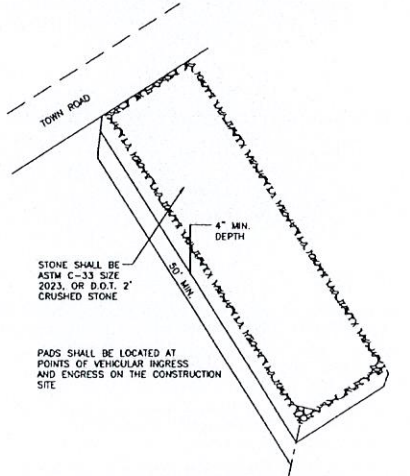
**DISTRIBUTION BOX (DB-4) DETAIL**

SCALE = N.T.S.



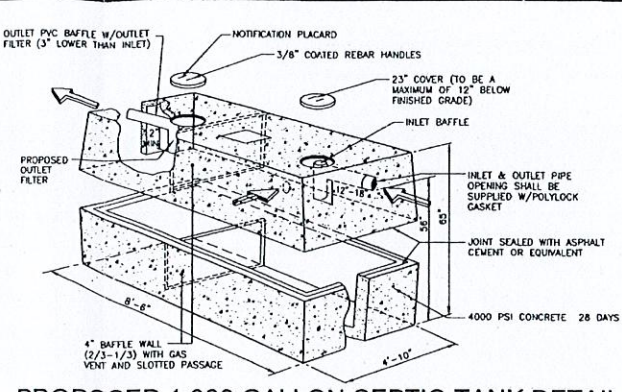
**SILT FENCE DETAIL**

SCALE = N.T.S.



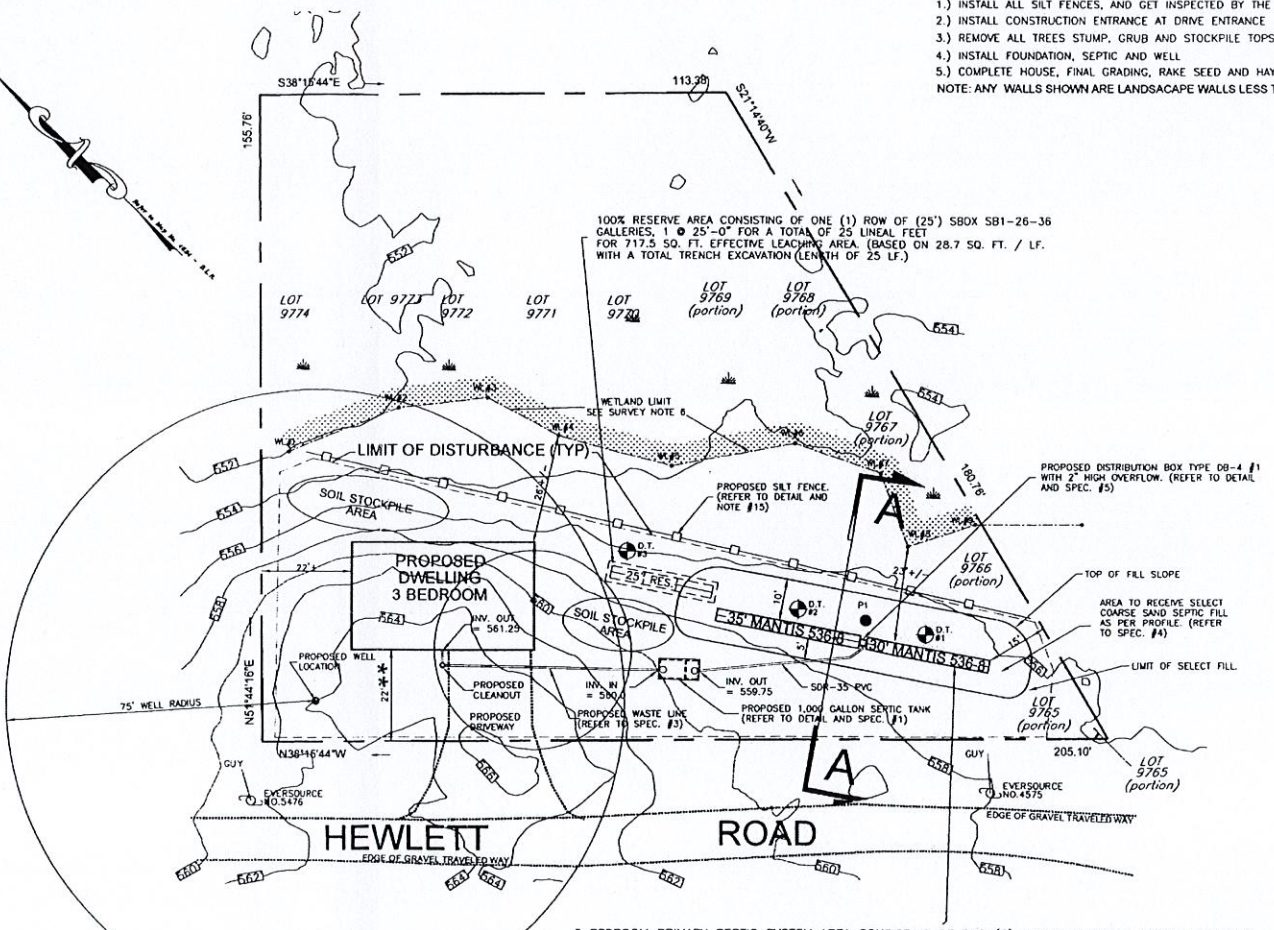
**CONSTRUCTION STABILIZING PAD DETAIL**

SCALE = N.T.S.



**PROPOSED 1,000 GALLON SEPTIC TANK DETAIL**

SCALE: N.T.S.



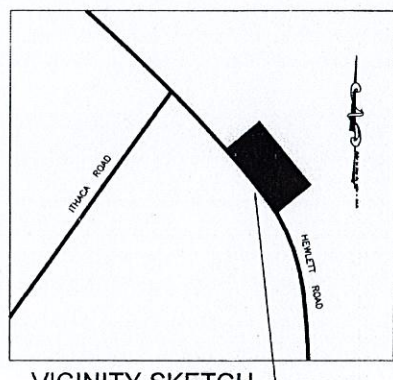
\*\* ZONING VARIANCE REQUIRED

**3 BEDROOM DESIGN CRITERIA**

FIELD PERCOLATION RATE: PRIMARY = 1" IN 20.0 MIN. RESERVE = 1" IN 20.0 MIN.  
 DESIGN PERCOLATION RATE: PRIMARY = 1" IN 10.1-20 MIN. RESERVE = 1" IN 10.1-20 MIN.  
 PROPOSED BEDROOMS = 3. PROPOSED SEPTIC TANK SIZE = 1,000  
 MINIMUM LEACHING SYSTEM SPREAD (M.L.S.S.)  
 DEPTH TO RESTRICTIVE LAYER = 25. HYDRAULIC GRADIENT = 0.3% SLOPE  
 HF (28) x FF (1.5) x PF (1.25) = 52.5 REQUIRED. 65 PROVIDED  
 TOTAL LINEAL FEET OF THE PRIMARY LEACHING SYSTEM = 65  
 TOTAL SQUARE FEET OF THE LEACHING SYSTEM = 715. PROVIDED. 675 REQUIRED  
 SELECT COARSE SAND SEPTIC FILL 36" MINIMUM DEPTH + 6" COVER MATERIAL OR APPROX. 110 CUBIC YARDS.

**LEGEND**

- APPROXIMATE DEEP TEST LOCATIONS - D1#1
- APPROXIMATE PERCOLATION TEST LOCATION - PERC#1
- APPROXIMATE EXISTING GRADE CONTOURS - 106.12' @ 5' 27.00'
- PROPERTY LINES -
- STONEWALLS -
- PROPOSED FINISHED GRADE CONTOURS -
- PROPOSED SILT FENCE -
- APPROXIMATE EXISTING SPOT ELEVATIONS - 104.1



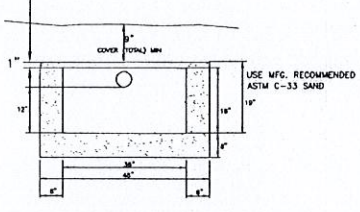
**VICINITY SKETCH**

SCALE: N.T.S.

**CONSTRUCTION SEQUENCE**

(ALL PHASES TO BE INSPECTED AND APPROVED BY THE EEO)

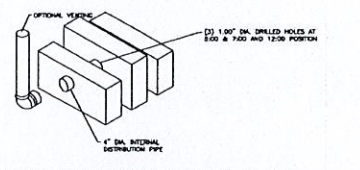
- 1.) INSTALL ALL SILT FENCES, AND GET INSPECTED BY THE EEO
  - 2.) INSTALL CONSTRUCTION ENTRANCE AT DRIVE ENTRANCE
  - 3.) REMOVE ALL TREES STUMP, GRUB AND STOCKPILE TOPSOIL WITHIN THE LIMIT OF DISTURBANCE
  - 4.) INSTALL FOUNDATION, SEPTIC AND WELL
  - 5.) COMPLETE HOUSE, FINAL GRADING, RAKE SEED AND HAY
- NOTE: ANY WALLS SHOWN ARE LANDSCAPE WALLS LESS THAN 3' HIGH



**SAND FILL CROSS SECTION**

N.T.S.

INSTALLER TO COMPLY WITH ALL MANUFACTURERS RECOMMENDED INSTALLATION REQUIREMENTS



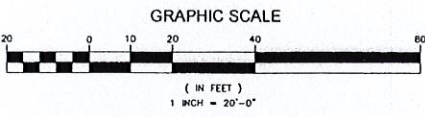
**DISTRIBUTION PIPE CONNECTION**

N.T.S.

**MANTIS 536-8 LEACHING SYSTEM DETAIL**

SCALE = N.T.S.

LOT AREA = 24,803 SQ FT  
 IMPERVIOUS AREA = 1,644 SQ FT = 6.6%



**MBL 38 - 2 - 7**

**R.J. GALLAGHER JR. & ASSOCIATES**  
 ENGINEERS

39 MILL PLAIN ROAD, SUITE #2 DANBURY, CONNECTICUT (203) 798-9640  
 PROJECT: 8 HEWLETT ROAD  
 NEW FAIRFIELD, CONNECTICUT  
 prepared for REILLY CONST

**SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN**

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
|     |          |      |    |

|                         |                           |                   |
|-------------------------|---------------------------|-------------------|
| DRAWN BY: T.K.          | SCALE: 1"=20' OR AS NOTED | DRAWING NO: 22091 |
| APPROVED BY: R.J.G. JR. | DATE: 12-20-22            |                   |



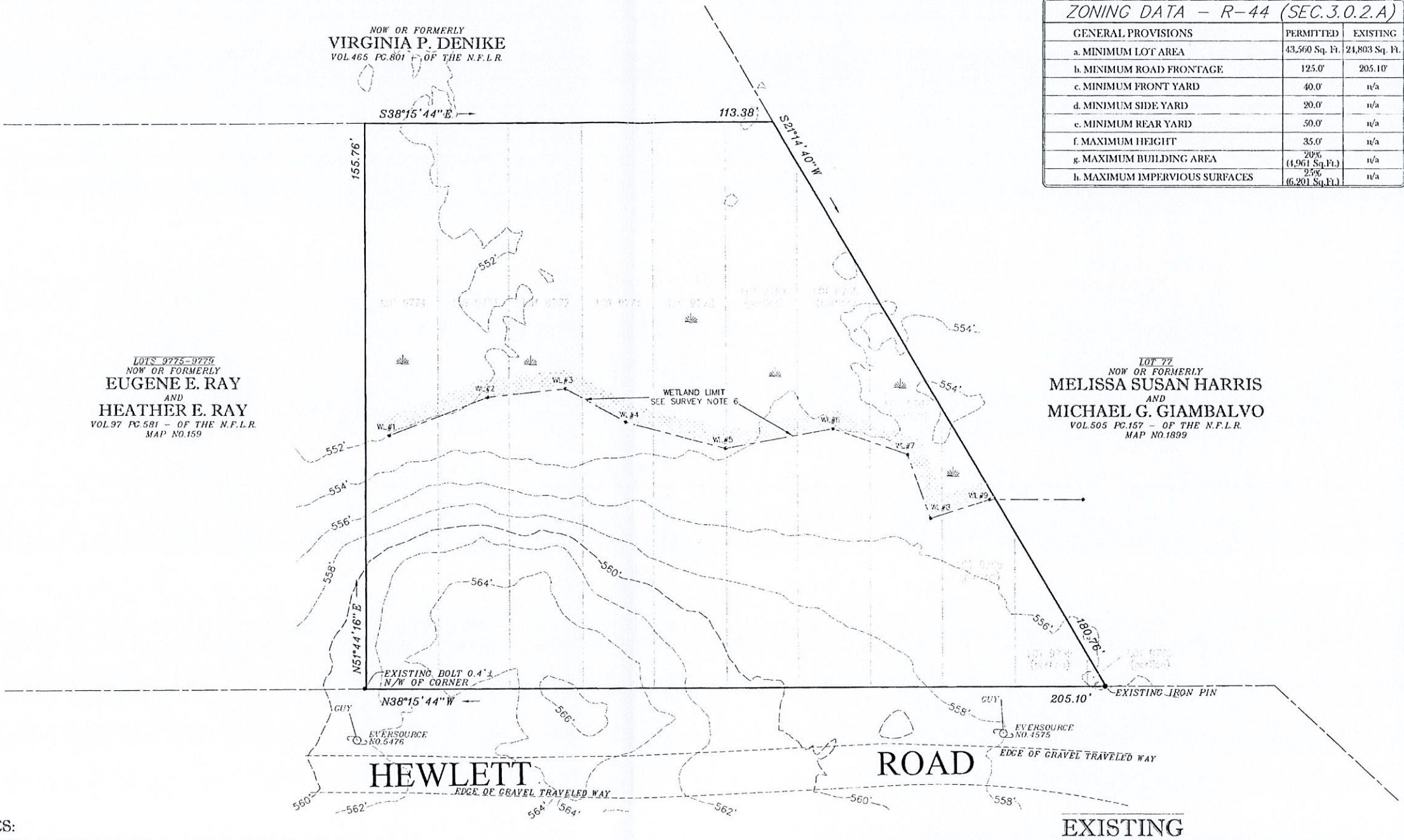


NOW OR FORMERLY  
**VIRGINIA P. DENIKE**  
 VOL.465 PG.801 OF THE N.F.L.R.

| ZONING DATA - R-44 (SEC.3.0.2.A) |                       |                |
|----------------------------------|-----------------------|----------------|
| GENERAL PROVISIONS               | PERMITTED             | EXISTING       |
| a. MINIMUM LOT AREA              | 43,560 Sq. Ft.        | 24,803 Sq. Ft. |
| b. MINIMUM ROAD FRONTAGE         | 125.0'                | 205.10'        |
| c. MINIMUM FRONT YARD            | 40.0'                 | n/a            |
| d. MINIMUM SIDE YARD             | 20.0'                 | n/a            |
| e. MINIMUM REAR YARD             | 50.0'                 | n/a            |
| f. MAXIMUM HEIGHT                | 35.0'                 | n/a            |
| g. MAXIMUM BUILDING AREA         | 20%<br>(4,961 Sq.Ft.) | n/a            |
| h. MAXIMUM IMPERVIOUS SURFACES   | 25%<br>(6,201 Sq.Ft.) | n/a            |

LOTS 9775-9776  
 NOW OR FORMERLY  
**EUGENE E. RAY**  
 AND  
**HEATHER E. RAY**  
 VOL.97 PG.581 OF THE N.F.L.R.  
 MAP NO.159

LOT 77  
 NOW OR FORMERLY  
**MELISSA SUSAN HARRIS**  
 AND  
**MICHAEL G. GIAMBALVO**  
 VOL.505 PG.157 OF THE N.F.L.R.  
 MAP NO.1899



**OWNERSHIP NOTES:**

1. OWNER OF RECORD: **MEGA-TRON BUILDERS LLC** - VOL.534 PG.11 OF THE N.F.L.R.

**SURVEY NOTES:**

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
2. MONUMENTATION FOUND OR SET DEPICTED HEREON.
3. REFERENCE MADE TO MAP NO. 159 OF THE NEW FAIRFIELD LAND RECORDS.
4. TWO FOOT TOPOGRAPHIC SURVEY CONTOURS COMPUTED FROM LIDAR DEM (2016) FLOWN BY THE STATE OF CONNECTICUT, TILE 785735\_sw AND CONFORM TO, AT MINIMUM, TD TOPOGRAPHIC ACCURACY. (NAVD 88)
5. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST WITHIN THE AREA DEPICTED, THE EXISTENCE OF WHICH ARE UNKNOWN TO SYDNEY A. RAPP LAND SURVEYING, P.C. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 811 OR 1-800-922-4455.
6. WETLAND DELINEATION DEPICTED HEREON FLAGGED BY JMM WETLAND SERVICES OF NEWTOWN, CT AND FIELD LOCATED BY THIS OFFICE DURING FIELD SURVEY.
7. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

**\* IMPORTANT \***  
 LOCATION OF UNDERGROUND UTILITIES DEPICTED HEREON ARE APPROXIMATE. NO WARRANTY NOR GUARANTEE OF LOCATION MADE FROM TO ANY CONSTRUCTION OR EXCAVATION OPERATIONS.  
 "CALL BEFORE YOU DIG" 811 OR 1(800)922-4455

**IMPROVEMENT LOCATION SURVEY**

PREPARED FOR  
**SPRUCE RIDGE CRAFTSMEN, INC.**  
 DEPICTING PROPERTY SITUATED AT  
 8 HEWLETT ROAD  
 NEW FAIRFIELD, CONNECTICUT  
 TAX ASSESSOR MAP 38 BLOCK 2 LOT 7

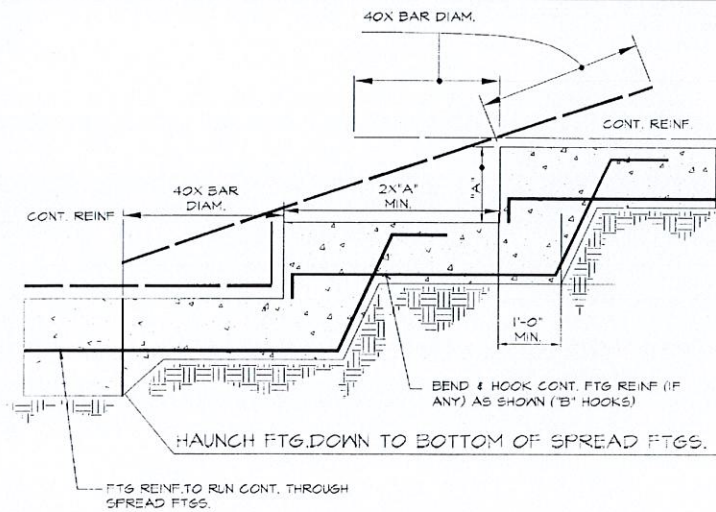
10' 0 50' 100'

|                      |                         |   |
|----------------------|-------------------------|---|
| SCALE: 1"=20'        | ZONE: R-44              | TO MY KNOWLEDGE AND BELIEF<br>THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON |
| AREA: 24,803 Sq. Ft. | DATE: DEC. 17, 2022     |   |
| DRAWN BY: Z.S.R.     | DRAWING NAME: 22198-ILS |   |

Sydney A. Rapp Land Surveying, P.C.  
 30 Lindcrest Drive, Danbury, Connecticut 06811  
 1-B Grand Street, Bethel, Connecticut 06801  
 email: maps@sarlandsurveying.com - Phone: (203)744-6261

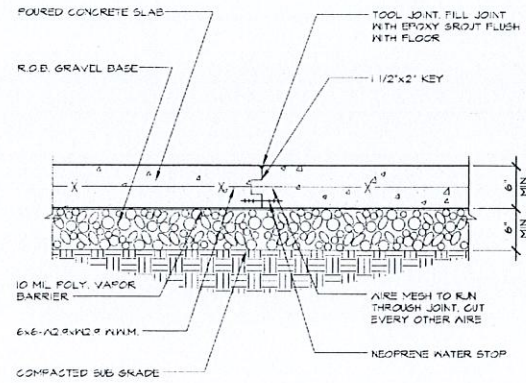
ZACHARY S. RAPP, PLS. LICENSE NO. 70420  
 NOT VALID WITHOUT SIGNATURE AND EMBOSSED SEAL





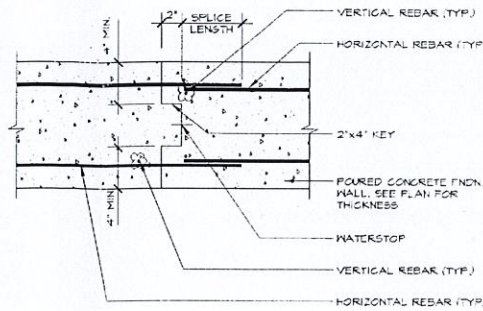
STEP FOOTING DETAIL

SCALE: NTS



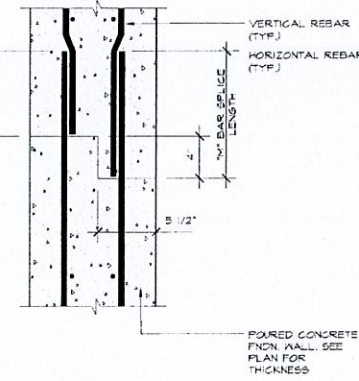
SLAB CONSTR. JOINT

SCALE: 1/4"=1'-0"



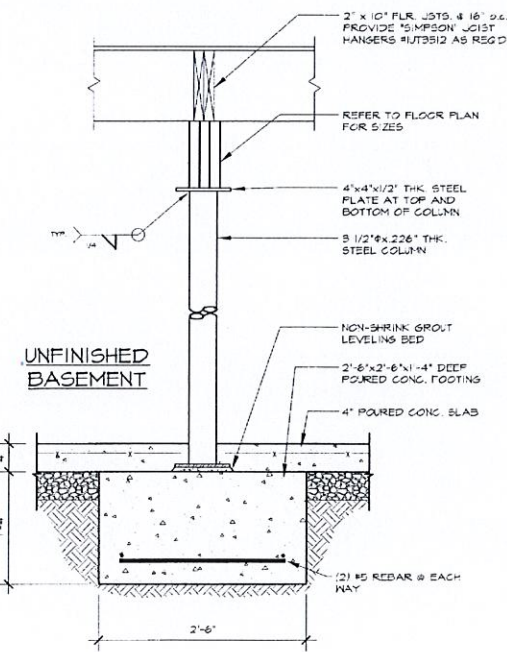
WALL CONSTRUCTION JOINT

SCALE: 1/2"=1'-0"



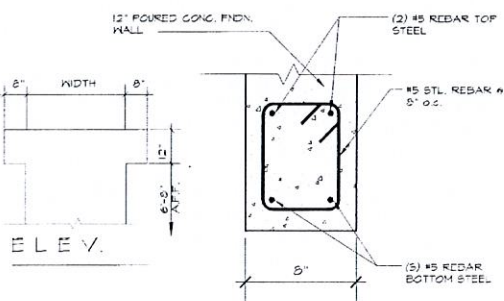
HAUNCH DETAIL

SCALE: 1/4"=1'-0"



TYPICAL COLUMN DETAIL

SCALE: NTS



HEADER DETAIL

SCALE: NTS

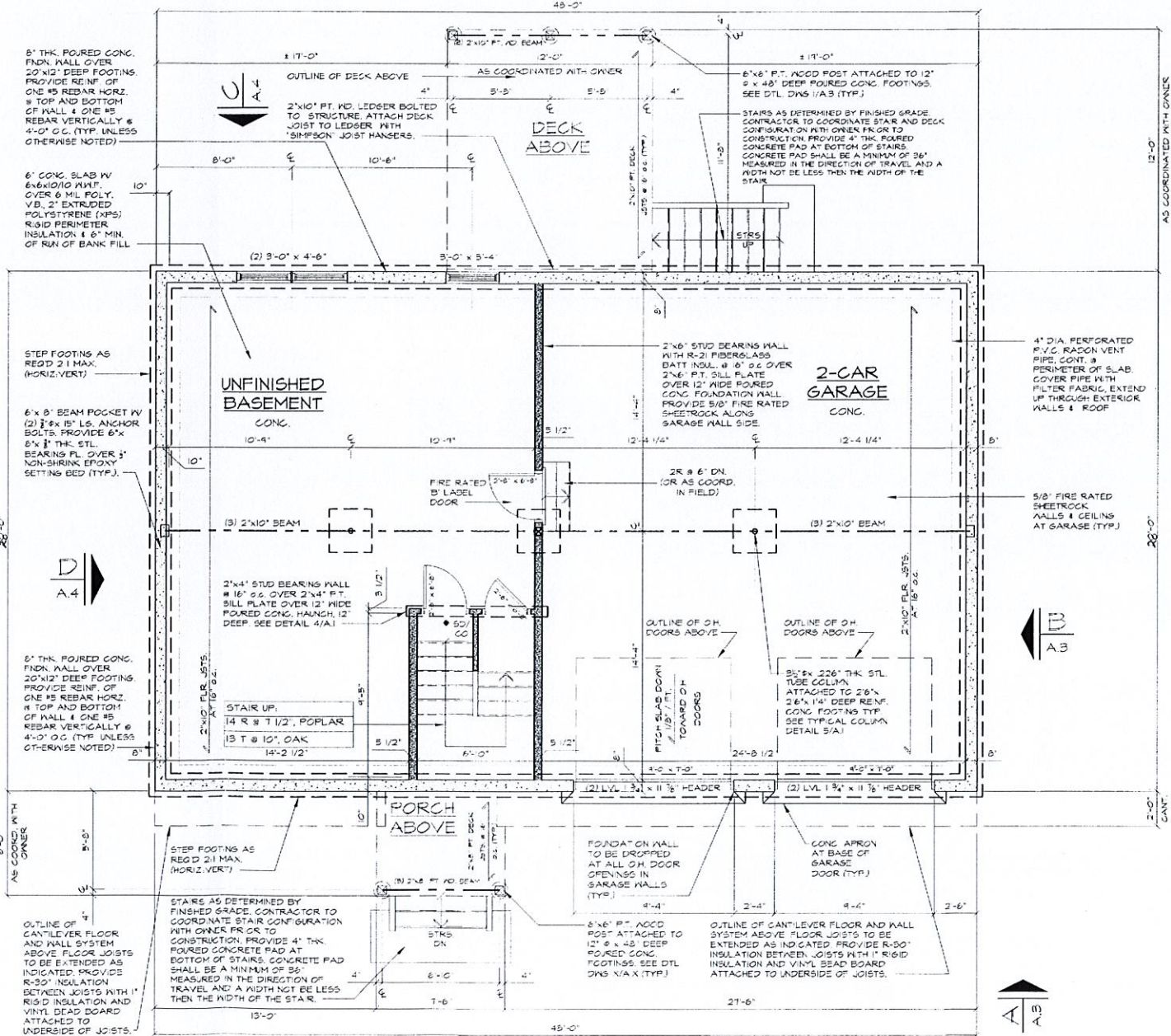
**LEGEND**

WALL BRACINGS REQUIRED AT ALL NOTED EXTERIOR CORNERS MINIMUM LENGTH OF 6'-0" EACH SIDE REFER TO DETAIL ON A 6 FOR FURTHER INFORMATION.

NOTE: CONTRACTOR SHALL PROVIDE WALL BRACINGS WITH ALL EXTERIOR WALLS EXTENDING 20'-0" AND GREATER CONTINUOUSLY.

**FOUNDATION NOTES**

- FOOTINGS AND FOUNDATION DESIGN IS BASED ON A MINIMUM BEARING CAPACITY OF 3500 P.S.F. & 28 DAYS AND SHALL CONTAIN 6% ENTRAINMENT AIR CEMENT SHALL BE TYPE I OR II FOR EXTERIOR ONLY. ALL FOOTINGS SHALL REST ON UNDISTURBED VIRGIN SOIL OR AT AT LEAST THAT VALUE. VERIFY SOIL BEARING CAPACITY IN FIELD.
- BACKFILL SHALL BE COMPACTED AT ITS OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AND PLACED IN 6" LIFTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN FIELD AND SHALL NOTIFY ARCHITECT OF RECORD OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ELECTRICAL, MECHANICAL, PLUMBING AND FIRE DETECTION SYSTEM DRAWINGS BY OWNER AND GENERAL CONTRACTOR.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
- IN THE EVENT THAT ROCK IS ENCOUNTERED IN FIELD ABOVE FOOTING DEPTHS, THE FOLLOWING NOTES SHALL APPLY.
  - FOUNDATION WALLS, PIERS AND COLUMNS TO BEAR DIRECTLY ON ROCK AS INDICATED ON THESE PLANS OR AS DIRECTED IN THE FIELD BY ARCHITECT OF RECORD.
  - ALL FOOTINGS TO BE PINNED TO ROCK LEDGE WITH #6 REBAR 4'-0" LONG, 18" O.C. MIN. IN EPoxy GROUT. REBAR TO BE SET 12" MIN. INTO ROCK.
    - FOR POURED CONG. PIERS USE (5) #10 REBARS PER PIER
    - FOR 12" DIA. COLUMNS USE (3) #8 BARS PER COLUMN
    - FOR 12"x12" PIERS USE (4) #8 BARS PER PIER
  - ALL ROCK BELOW POURED CONCRETE SLAB MUST BE LOWERED TO A MIN. OF 1'-0" BELOW SLAB.
- POUR SEQUENCE.
  - ALL FOUNDATION WALLS ARE TO BE POURED DIRECTLY ONTO FOOTINGS. NO SOONER THAN 4 DAYS AFTER FOOTINGS HAVE BEEN INSTALLED.
  - EXTERIOR AND INTERIOR BEARING WALLS ARE NOT TO BE CONSTRUCTED AND INSTALLED ON TOP OF FOUNDATION WALLS NO SOONER THAN 7 DAYS AFTER SUCH WALLS HAVE BEEN POURED.
  - FOUNDATION WALLS ARE NOT DESIGNED AS RETAINING WALLS.
- BACKFILL SHALL BE COMPACTED AT ITS OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AND PLACED IN 6" LIFTS.



BASEMENT/FOOTING and FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
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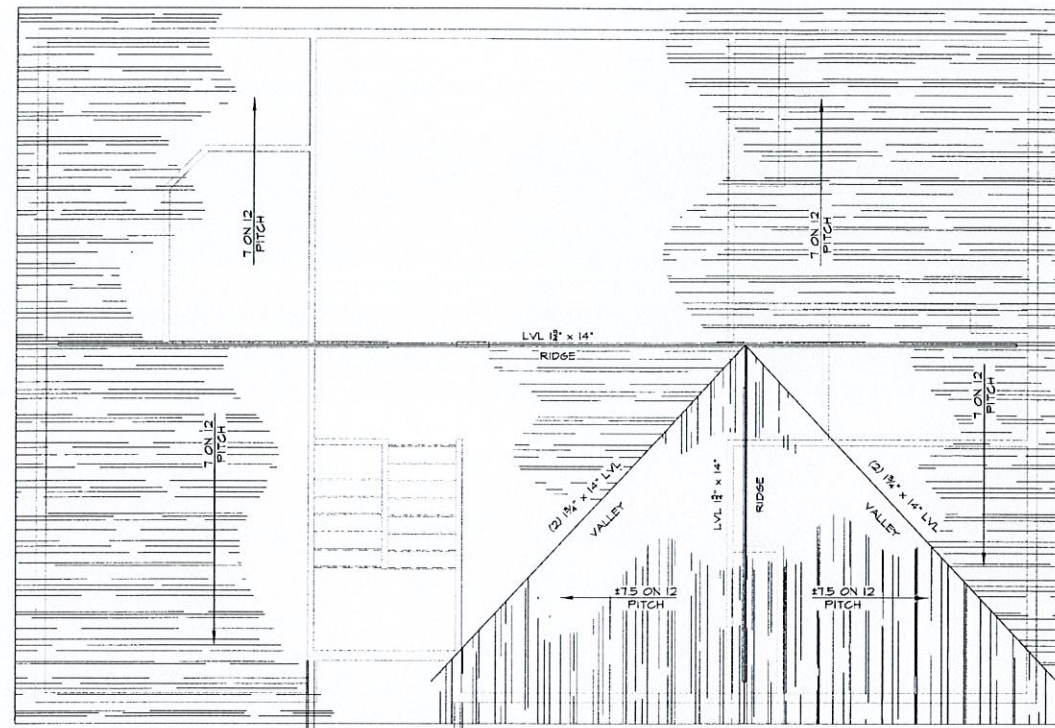
PROJECT NAME  
**SPRUCE RIDGE CRAFTSMEN**  
New Fairfield CT

DATE: 10.29.20  
DRAWN BY: --  
CHKD BY: --  
SCALE: AS NOTED

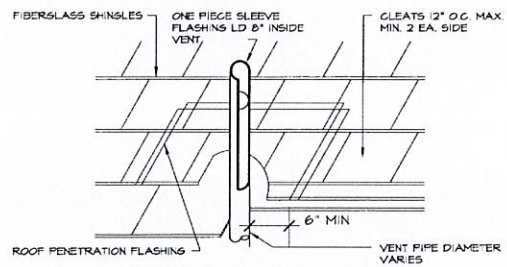
DRAWING TITLE  
**BASEMENT FOOTING and FOUNDATION PLAN and DETAILS**

PROJECT NO.  
DRAWING NUMBER  
**A.1**  
SHEET 11 OF 31

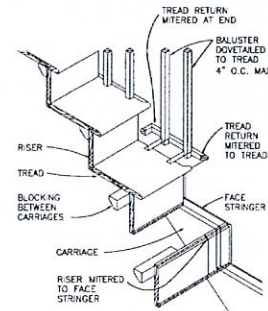
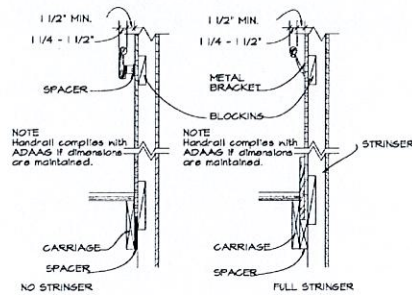




NOTE: GUTTER AND LEADER LOCATIONS AS COORDINATED IN FIELD.



3 VENT DETAIL AT ROOF SCALE: NTS



4 STAIR RAILING DTLs. SCALE: 3/4\"/>

B ROOF PLAN SCALE: 1/4\"/>

EXTERIOR HEADER SCHEDULE

| SIZE OF OPENING | HEADER SIZE (UON)                     |
|-----------------|---------------------------------------|
| 0' - 4'         | LSL 3 1/2" x 5 1/2" ALT. (2) 2" x 8"  |
| 4' - 6'         | LSL 3 1/2" x 5 1/2" ALT. (2) 2" x 10" |
| OVER 6'         | REFER TO PLANS                        |

INTERIOR HEADER SCHEDULE

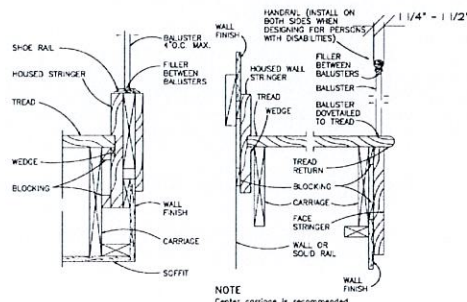
| SIZE OF OPENING | HEADER SIZE (UON) |
|-----------------|-------------------|
| 0' - 4'         | (2) 2" x 8"       |
| 4' - 6'         | (2) 2" x 10"      |
| OVER 6'         | REFER TO PLANS    |

POST SCHEDULE

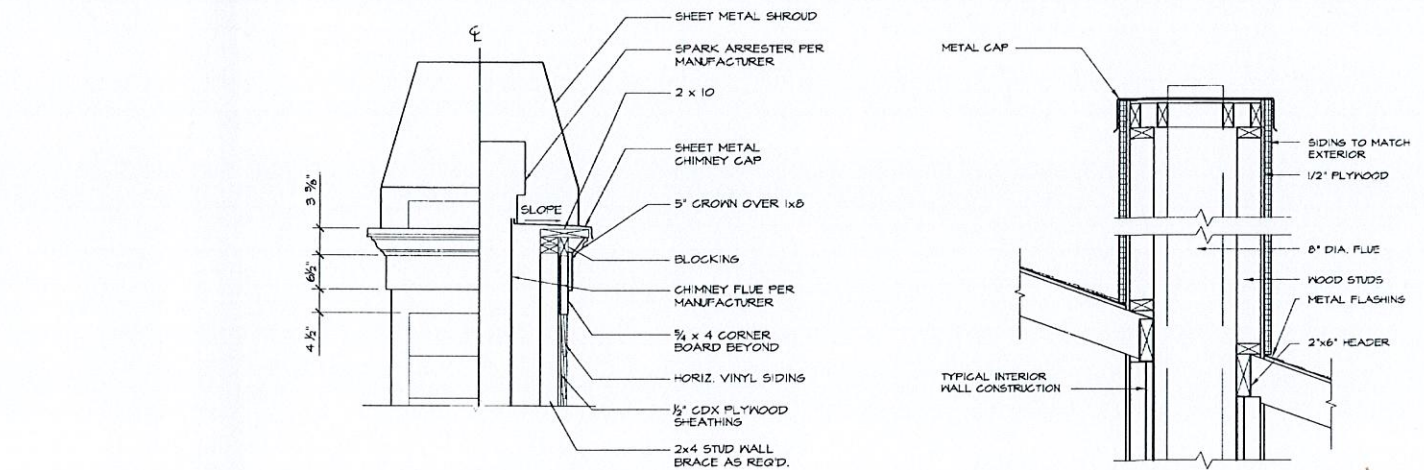
| DESIGNATION | POST SIZE           |
|-------------|---------------------|
| P1          | 5 1/2" x 5 1/2" PSL |
| P2          | 3 1/2" x 3 1/2" PSL |

HEADER SCHEDULE

| DESIGNATION | POST SIZE                                      |
|-------------|--|
| H1          | 3 1/2" x 3 1/2" PSL or (2) LVL 1 1/2" x 9 1/2" |

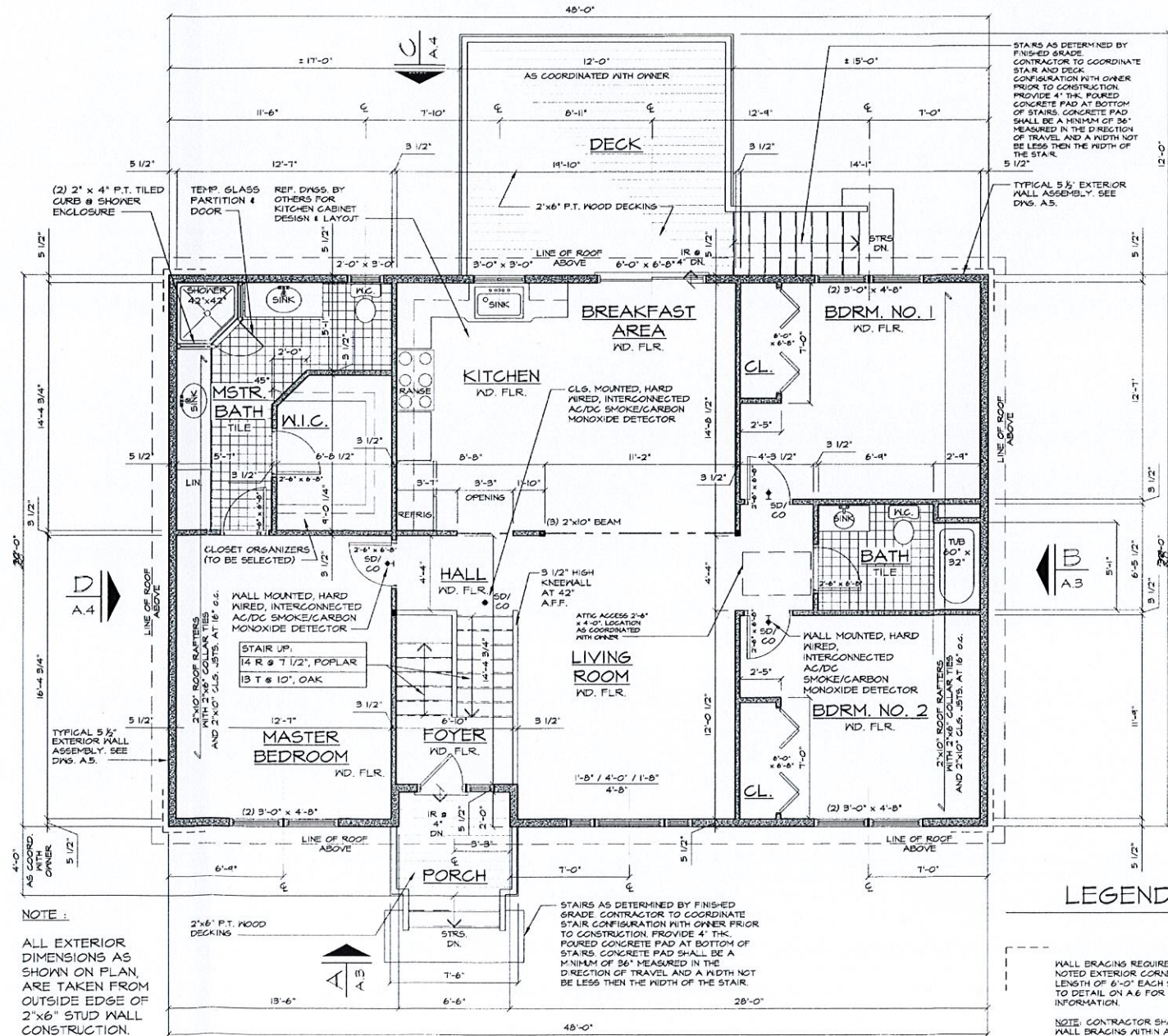


5 STAIR DETAILS SCALE: 3/4\"/>



1 TYP. CHIMNEY CAP DTL. SCALE: 3/4\"/>

2 CHIMNEY DETAIL SCALE: 1\"/>



NOTE: ALL EXTERIOR DIMENSIONS AS SHOWN ON PLAN ARE TAKEN FROM OUTSIDE EDGE OF 2\"/>

A FIRST FLOOR PLAN SCALE: 1/4\"/>

LEGEND

WALL BRACINGS REQUIRED AT ALL NOTED EXTERIOR CORNERS. MINIMUM LENGTH OF 6'-0" EACH SIDE. REFER TO DETAIL ON A6 FOR FURTHER INFORMATION.  
NOTE: CONTRACTOR SHALL PROVIDE WALL BRACINGS WITHIN ALL EXTERIOR WALLS EXTENDING 20'-0" AND GREATER CONTINUOUSLY.

| NO | REVISION | DATE |
|----|----------|------|
|    |          |      |
|    |          |      |
|    |          |      |
|    |          |      |

PROJECT NAME  
**SPRUCE RIDGE CRAFTSMEN**

**New Fairfield CT**

DATE: 10.29.20  
DRWN BY: --  
CHKD BY: --  
SCALE: AS NOTED

DRAWING TITLE

FLOOR PLANS  
and DETAILS

PROJECT NO.  
DRAWING NUMBER

A.2  
SHEET 2 OF 5

*S. Hewlett Prof*







