

ZONING COMMISSION
Town of New Fairfield
203-312-5646 Fax 203-312-3508

SPECIAL PERMIT APPLICATION

Application Number SP-23-001

Map: 23 Block: 16 Lot: 15

Please type or print:

Date: December 22, 2022

Applicant: Patricia Del Monaco on behalf of the Town of New Fairfield

Mailing Address: 4 Brush Hill Road, New Fairfield, CT, 06812

Project Address: 302 Ball Pond Road, New Fairfield, CT, 06812

Phone No: 203-312-5600

Owner (s) of Record: Town of New Fairfield

Address: 4 Brush Hill Road, New Fairfield, CT, 06812

Phone No: 203-312-5600

Application is hereby made for Special Permit per section 8.2 pursuant to the following section (s) of the Zoning Regulations:

Section 3.1 Residence R-88 Zone, 3.1.2 - Special Permit Uses, Part A
"Municipal building and uses, fire and police stations, senior centers, municipal parks, playgrounds and recreational areas, sewage treatment plants, public utilities and buildings"

For the following purpose: For the removal of demo debris, filling in of earth material, and regrading of the site as a result of the demolition of the Consolidated school. Associated site improvements including grading and storm drainage.

In compliance with the requirements of the Zoning Regulations, I am hereby submitting the fee, plans, documents and additional information as required.

Fee of ~~\$460.00~~* as specified in Section 10.1.2C (\$200.00 application, \$60.00 State Surcharge and \$200.00 Two Legal Notice for Public Hearing and Results of Application Advertised in News Paper).

Letter of authorization from property owner stating an agent may apply for permit. Signature on letter must be original not copied, facsimile or e-mail.



For Office Use Only

This Application Complies Does Not Comply with the requirements of the zoning regulations.

Application Complete: Yes No

The application fails to comply as follows: _____

Comments: _____

Review by Zoning Enforcement Officer _____ Date _____

Date of Receipt by Zoning Commission: _____

Date of Scheduled Public Hearing: _____

Date of Commission Action: _____ Legal Notice Published _____

Application Approved Application Denied

Application Approved & Modified

Conditions: _____

Project Narrative
Consolidated School Site
302 Ball Pond Road

Overall Project Description

This project will include removal of demo debris, filling in of earth material, and regrading of the site as a result of the demolition of the Consolidated school.

Site Description

The proposed project includes removal of demo debris, filling in of earth material, and regrading of the site as a result of the demolition of the Consolidated school.

The existing parking lots off Ball Pond Road and Gillotti Road are proposed to remain to provide parking to the public utilizing the fields on site. Additionally, the playground immediately north of the Gillotti Road parking lot and on-site driveways are all proposed to remain.

There is an about 15-foot grade change from the west side of the existing building to the east side. The base plan proposes to rough grade the area and provide lawn or meadow mix. Slopes should not exceed 3:1 in this case.

Existing storm drainage within the paved areas will be maintained to the extent possible and new stormwater structures and pipes are proposed to collect runoff from the new lawn areas. New drainage will connect to the existing system, maintaining current discharge locations. The existing wells that service both this site, MHHS and the church and adjacent residential property will be maintained and protected as part of this project.

555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142

To: Antonio Iadarola, P.E. - Town Engineer

From: Brian Phillips, P.E.

Info: Copied

Date: 11 November 2020

Revised: 24 February 2021

Revised: 22 February 2022

Revised: 21 December 2022

Re: Stormwater Assessment
Consolidated School
302 Ball Pond Road
New Fairfield, Connecticut
Langan Project No.: 140215351

This stormwater memorandum has been prepared in support of the Special Permit Application for the proposed work at the existing Consolidated School site located at 302 Ball Pond Road in the Town of New Fairfield, Connecticut. This project includes removal of demo debris, filling in of earth material, and regrading of the site as a result of the demolition of the Consolidated school. The parcel area was previously 42.30 acres, but has now been reduced to 41.14 acres as a result of a lot line revision. The proposed site modifications will encompass approximately 3.2 acres, which under existing conditions is approximately 70% impervious.

Under existing conditions stormwater runoff from this site sheet flows or is piped underground either to Gillotti Rd or Ball Pond Rd. This runoff is either discharged to a wetland northeast of the site, or to a drainage network along Gillotti Road, outside the area of disturbance. This network is a part of a larger town-owned storm drainage network.

The proposed development proposes regrading as well as new lawn and landscaping in place of the demolished building. As a result of this landscaping there is a net decrease in impervious area. Of the 3.20 acres impacted by this work, no new impervious cover is proposed and 2.12 acres will be new pervious. The conversion of impervious to pervious area will reduce the volume and runoff rate from the site.

The proposed development has been designed to maintain existing drainage patterns to the greatest extent feasible. Consistent with the existing conditions, all runoff will be conveyed to either the town-owned drainage network in Gillotti Road, or the existing wetland northeast of the site, with no increased flows to either.

As a result of the decrease in overall impervious area, the overall stormwater runoff entering the existing town-owned drainage network and northeastern wetland has been reduced.

List of Abutters for 302 Ball Bond Road (Consolidated School)

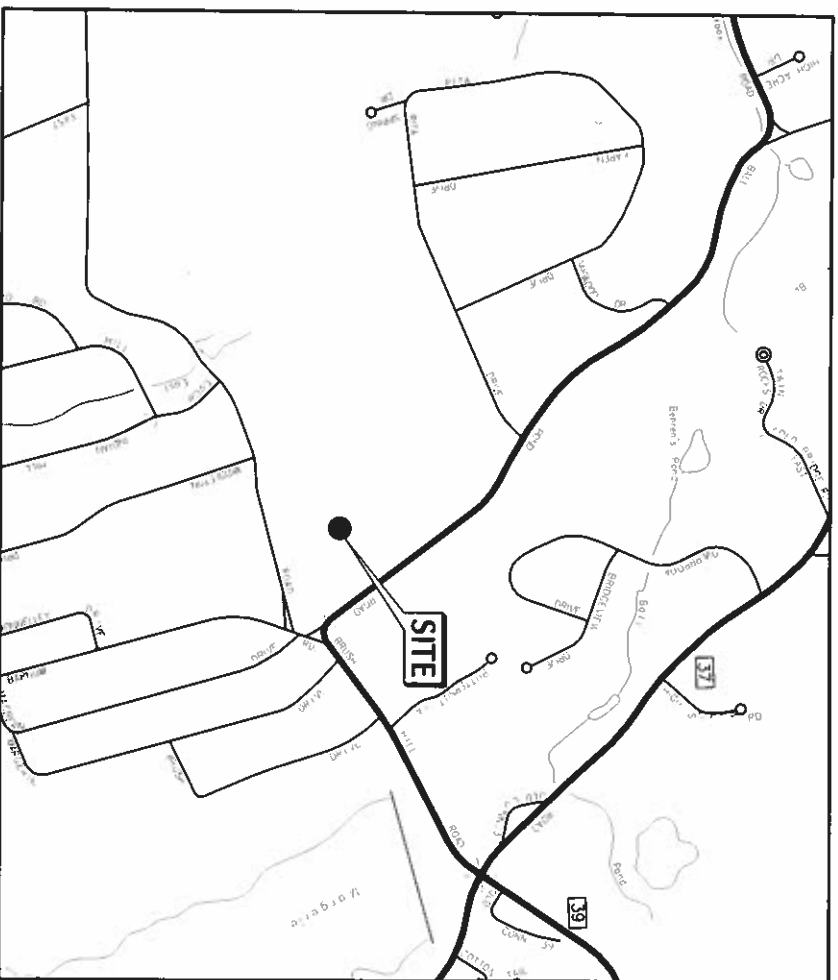
PARCEL ID	OWNER 1	OWN ADDRESS 1	OWN CITY	OWN STATE	OWN ZIP	STREET ADDRESS
35700	ALESI THOMAS W III	263 BALL POND RD	NEW FAIRFIELD CT	06812	263 BALL POND RD	263 BALL POND RD
467000	ANBURAJAN VASUMATHI & S	9 RITA DRIVE	NEW FAIRFIELD CT	06812	9 RITA DR	9 RITA DR
467600	ANTAL CHRISTOPHER J & DIORELA LEICA	15 RITA DR	NEW FAIRFIELD CT	06812	15 RITA DR	15 RITA DR
35500	BONTEMPO GREGORY J & CHRYSSTIE M	259 BALL POND RD	NEW FAIRFIELD CT	06812	259 BALL POND RD	259 BALL POND RD
34700	COLDWELL MARK F & LEANN L	247 BALL POND RD	NEW FAIRFIELD CT	06812	247 BALL POND RD	247 BALL POND RD
217810	CONGREGATIONAL CHURCH OF NEW FAIRFIELD	20 GILLOTTI RD	NEW FAIRFIELD CT	06812	14 GILLOTTI RD	14 GILLOTTI RD
466800	COPPETA FERDINANDO	7 RITA DR	NEW FAIRFIELD CT	06812	7 RITA DR	7 RITA DR
35100	COX JOHN F & COLLEEN E	255 BALL POND RD	NEW FAIRFIELD CT	06812	255 BALL POND RD	255 BALL POND RD
468000	GARCIA ANTONIO & LINA N	19 RITA DR	NEW FAIRFIELD CT	06812	19 RITA DR	19 RITA DR
34500	GARDNER ROBERT J	245 BALL POND RD	NEW FAIRFIELD CT	06812	245 BALL POND RD	245 BALL POND RD
468200	GENTILE LORI A	21 RITA DR	NEW FAIRFIELD CT	06812	21 RITA DR	21 RITA DR
468600	GOBBO STEPHEN J	1265 NORTHWAY DRIVE APT 9	DEWITT MI	48820-8355	25 RITA DR	25 RITA DR
43800	KACZMAREK KIMBERLY A	1 BARNUM RD	NEW FAIRFIELD CT	06812	1 BARNUM RD	1 BARNUM RD
35600	KILLIAN JOSEPH E	261 BALL POND RD	NEW FAIRFIELD CT	06812	261 BALL POND RD	261 BALL POND RD
467200	LEDDA CHARLES & THERESA	11 RITA DR	NEW FAIRFIELD CT	06812	11 RITA DR	11 RITA DR
468400	MAHER PATRICK & TRACY L	23 RITA DR	NEW FAIRFIELD CT	06812	23 RITA DR	23 RITA DR
37100	NASON FREDERICK D & DIANE K	300 BALL POND RD	NEW FAIRFIELD CT	06812	300 BALL POND RD	300 BALL POND RD
219200	NEW FAIRFIELD TOWN OF	4 BRUSH HILL RD	NEW FAIRFIELD CT	06812	54 GILLOTTI RD	54 GILLOTTI RD
218000	NEW FAIRFIELD TOWN OF	4 BRUSH HILL RD	NEW FAIRFIELD CT	06812	24 GILLOTTI RD	24 GILLOTTI RD
37200	NEW FAIRFIELD TOWN OF	4 BRUSH HILL RD	NEW FAIRFIELD CT	06812	302 BALL POND RD	302 BALL POND RD
467800	NEW FAIRFIELD TOWN OF	4 BRUSH HILL RD	NEW FAIRFIELD CT	06812	17 RITA DR	17 RITA DR
467400	OROZCO CRISTIAN A & ERIKA	13 RITA DR	NEW FAIRFIELD CT	06812	13 RITA DR	13 RITA DR
466600	PENN JAMES T JR & TRACY L	5 RITA DR	NEW FAIRFIELD CT	06812	5 RITA DR	5 RITA DR
217200	PETRIELLO SONIA	5 GILLOTTI RD	NEW FAIRFIELD CT	06812	5 GILLOTTI RD	5 GILLOTTI RD
466400	PORAT KEVIN	3 RITA DR	NEW FAIRFIELD CT	06812	3 RITA DR	3 RITA DR
82300	SAINT EDWARD THE CONFESSOR CORPORATION	PO BOX 8866	NEW FAIRFIELD CT	06812	21 BRUSH HILL RD	21 BRUSH HILL RD
216900	SAINT EDWARD THE CONFESSOR CORPORATION	1 GILLOTTI RD	NEW FAIRFIELD CT	06812	1 GILLOTTI RD	1 GILLOTTI RD
35300	SEIM LARRY W & ILEINE R	257 BALL POND RD	NEW FAIRFIELD CT	06812	257 BALL POND RD	257 BALL POND RD
34800	STANGE COLIN & JULIE	249 BALL POND RD	NEW FAIRFIELD CT	06812	249 BALL POND RD	249 BALL POND RD
217100	SULLIVAN DAVID X	PO BOX 8076	NEW FAIRFIELD CT	06812	3 GILLOTTI RD	3 GILLOTTI RD
34900	SULLIVAN PETER & COLEEN	251 BALL POND RD	NEW FAIRFIELD CT	06812	251 BALL POND RD	251 BALL POND RD
34300	VIGILIO CHRISTINE BETH	243 BALL POND RD	NEW FAIRFIELD CT	06812	243 BALL POND RD	243 BALL POND RD

CONSOLIDATED SCHOOL

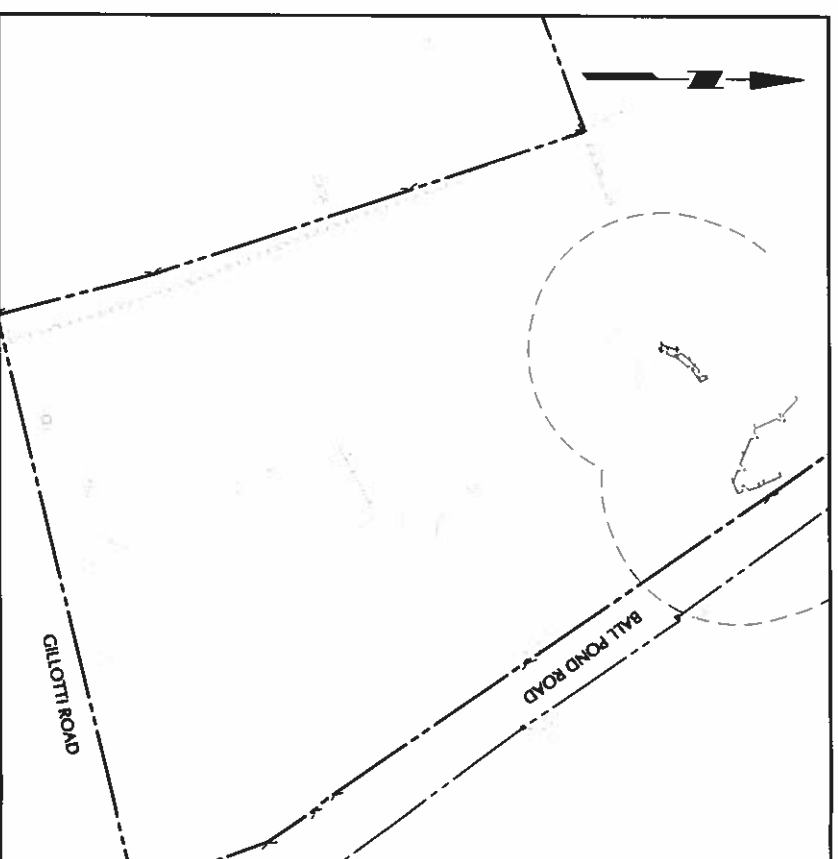
302 BALL POND ROAD

TOWN OF NEW FAIRFIELD, CONNECTICUT 06812

SPECIAL PERMIT SUBMISSION



LOCATION MAP
SCALE: 1" = 500'



SITE
SCALE: 1" = 80'

DRAWING LIST

NUMBER	TITLE	DATE	REVISION
C301	COVER SHEET	04/21/2020	
VB301	PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY	12/27/2022	
C220	SITE DEMOLITION PLAN - CONSOLIDATED SCHOOL	12/27/2022	
C350	SITE DETAILS	12/27/2022	
C430	GRADING AND DRAINAGE PLAN - CONSOLIDATED SCHOOL	12/27/2022	
C450	DRAINAGE DETAILS	12/27/2022	
C330	SITE UTILITY PLAN - CONSOLIDATED SCHOOL	12/27/2022	
C350	SITE UTILITY DETAILS	12/27/2022	
C430	SOIL EROSION AND SEDIMENT CONTROL PLAN - CONSOLIDATED SCHOOL	12/27/2022	
C450	SOIL EROSION AND SEDIMENT CONTROL DETAILS	12/27/2022	
1-130	PLANTING PLAN - CONSOLIDATED SCHOOL	12/27/2022	
1-150	PLANTING DETAILS	12/27/2022	

LANGAN

OWNER/APPLICANT
NEW FAIRFIELD PUBLIC SCHOOLS
3 BRUSH HILL ROAD
NEW FAIRFIELD, CT 06812
203-312-5770

ARCHITECT
JCU ARCHITECTURE
130 HAVSHOPE AVENUE
SUITE 100
HARTFORD, CT 06106
860-247-9226

**SITING ENGINEER, SURVEY,
LANDSCAPE ARCHITECT**
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC.
555 DING MAHAR DRIVE
NEW LANGAN, CT 06811
(203) 562-3771

STRUCTURAL ENGINEER
MICHAEL HOPKIN ASSOCIATES, INC.
57 MEADOW STREET
BRANFORD, CT 06405
203-481-0600

MEPT
CES - CONSULTING ENGINEERING SERVICES
817 WINDLE STREET
MIDDLETOWN, CT 06457
860-632-1682

FOOD SERVICE
GRABTREE UGBATH ASSOCIATES, INC.
161 WEST MAIN STREET
GEORGETOWN, MA 01833
978-352-9500

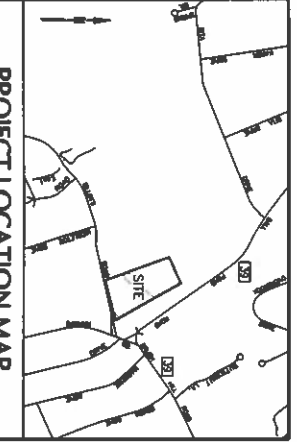
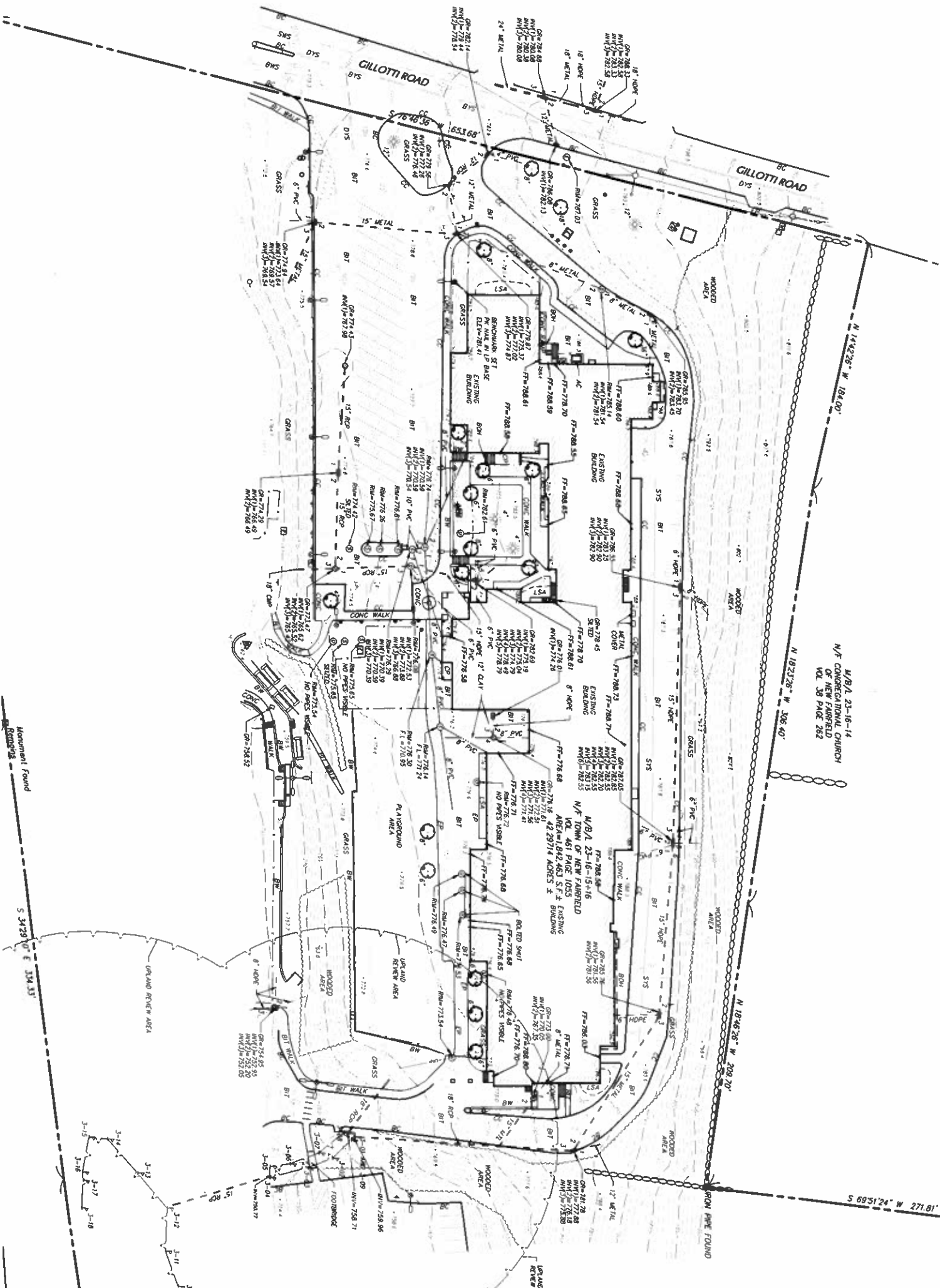
**THEATRE PLANNING &
DESIGNING**
FISHER DACHS ASSOCIATES, INC. (F/D/A)
22 W. 19TH STREET, 6TH FLOOR
NEW YORK, NEW YORK 10011
212-691-3020

NOTES

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
2. THIS SURVEY IS A PARTIAL PROPERTY SURVEY CONFORMING TO THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS SURVEY IS A RESURVEY OF THE PROPERTY DESCRIBED IN THE DEED DATED AUGUST 30, 1988, LAST REVISED: JANUARY 11, 1993, SHEET NO. 1 OF 2, BY: DAVID L. RYAN LAND SURVEYING & SITE PLANNING.
3. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
 - A. MAP TITLED "PORTION OF PROPERTY OF LYDIA GILLOTT GILLOTT ROAD NEW FAIRFIELD, CONNECTICUT. SCALE: 1"=100'. DATED: OCTOBER 4, 1969, BY: THOMAS KEANE, L.S., MAP #1428.
 - B. MAP TITLED "MAP PREPARED FOR TOWN OF NEW FAIRFIELD GILLOTT ROAD, ROUTE 39, & WELDON WOODS ROAD NEW FAIRFIELD, CONNECTICUT AREA - 140,8026 ACRES". SCALE: 1"=100'. DATED: AUGUST 30, 1988, LAST REVISED: JANUARY 11, 1993, SHEET NO. 2 OF 2, BY: DAVID L. RYAN LAND SURVEYING & SITE PLANNING.
 - C. MAP TITLED "SITE SURVEY & OVERALL PLAN MAP PREPARED FOR TOWN OF NEW FAIRFIELD GILLOTT ROAD, ROUTE 39, & WELDON WOODS ROAD NEW FAIRFIELD, CONNECTICUT. SCALE: 1"=100'. DATED: JANUARY 11, 1993, SHEET NO. 2 OF 2, BY: DAVID L. RYAN LAND SURVEYING & SITE PLANNING.
 - D. A. MAP TITLED "PROPERTY SURVEY PREPARED FOR TOWN OF NEW FAIRFIELD 74 GILLOTT ROAD TOWN OF NEW FAIRFIELD FAIRFIELD COUNTY, CT. SCALE: 1"=50'. DATED: JANUARY 25, 2006, BY: PAUL A. HIRO, P.C.
 - E. MAP TITLED "LOT LINE APPROPRIATION PLAN MEETING HOUSE HILL SCHOOL #24 GILLOTT ROAD TOWN OF NEW FAIRFIELD, COUNTY OF FAIRFIELD STATE OF CONNECTICUT. SCALE: 1"=50'. DATED: 11/13/2009, BY: BL COMPANIES, MAP #3476.
4. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HIGH SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).
5. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VEPTICAL DATUM OF 1988 (NAVD88) (GEOID 128) AS DETERMINED BY GNSS.
6. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTHS OF FEBRUARY & MARCH 2020.
7. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "FAIRFIELD COUNTY, CONNECTICUT PAGE 110 OF 626, MAP NUMBER 0900100109, EFFECTIVE DATE JUNE 19, 2010 THE PROJECT AREA IS IN ZONE X (UNSHADED).
8. UNLESS SPECIFICALLY NOTED HEREON, STORAGE AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.) CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE. THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
9. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC, ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAININGS.
10. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR AVAILABLE FOR USE. NO ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
11. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROTECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR SOUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
12. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
13. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

LEGEND
NOT SHOWN TO SCALE

- AIR CONDITIONING UNIT
- BOLLARD
- FLAG POLE
- SIGN
- SHRUB
- TREE
- WETLAND FLAG
- CATCH BASIN
- CLEANOUT
- ELECTRIC BOX
- ELECTRIC METER
- FILER WALKER
- LIGHT POLE
- MANHOLE (TYPE AS LABELED)
- POWER POLE
- ROOF DRAIN
- COMMUNICATION BOX
- VALVE UNKNOWN
- WATER METER
- BT BRUNNIOUS
- CONC CONCRETE PAD
- LANDSCAPED AREA
- BUILDING OVERHANG
- BOTTOM OF WALL
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EDGE OF WALK
- DETECTABLE WARNING
- BRUNNIOUS CURB
- CONCRETE CURB
- GRAVITE CURB
- SLOPED GRAVITE CURB
- SINGLE WHITE STRIPE
- BROKEN WHITE STRIPE
- SINGLE YELLOW STRIPE
- DOUBLE YELLOW STRIPE
- METAL GUARD RAIL
- CHAINLINK FENCE
- THREE LINE
- OVERHEAD WIRE
- WETLAND LINE
- EXISTENT LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- DRAINAGE MARK OUT LINE
- ELECTRIC MARK OUT LINE
- COMMUNICATION MARK OUT LINE
- GAS MARK OUT LINE
- SEWER MARK OUT LINE
- DOMESTIC WATER MARK OUT LINE
- FIRE WATER MARK OUT LINE
- STEAM MARK OUT LINE
- UNKNOWN MARK OUT LINE
- REFERENCE UTILITY LINE (TYPE AS NOTED) - FLOTTED FROM EXISTING MAPPING



LANGAN
Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511
T: 203.942.5771 F: 203.786.8142 www.langan.com

Andrew G. Vess
PROFESSIONAL LAND SURVEYOR
CT STATE LIC. NO. 70286

DATE SIGNED

CONSOLIDATED SCHOOL
12 GILLOTT ROAD
NEW FAIRFIELD CONNECTICUT

PARTIAL BOUNDARY & TOPOGRAPHIC SURVEY

Drawing Title

Project No. 140215301

Date APRIL 21, 2020

Drawn By JS

Checked By AG

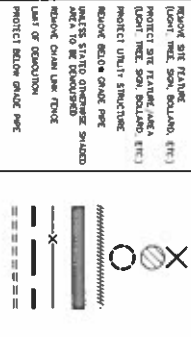
Drawing No. VB301

Sheet 1 of 1

DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOTIFY THE STATE HISTORICAL AND ARCHITECTURAL COMMISSION PRIOR TO THE DEMOLITION OF ANY STRUCTURE OR REMAINS THEREOF THAT ARE DETERMINED TO BE HISTORIC OR ARCHITECTURE OF SIGNIFICANCE BY THE COMMISSION. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL SUCH STRUCTURES OR REMAINS THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES THROUGHOUT CONSTRUCTION.
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LEGEND



GENERAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES THROUGHOUT CONSTRUCTION.
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DEMOLITION OF EXISTING CONSOLIDATED SCHOOL BUILDING IS COVERED UNDER A SEPARATE DEMOLITION PERMIT.

DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY

JC ARCHITECTURE

120 HINGSHIRE AVENUE
HARTFORD, CT 06106
860.241.2028

DATE PREPARED: 07/26/2023

NO. 00000001-01-0002

PROJECT NO. 2023-07-0001

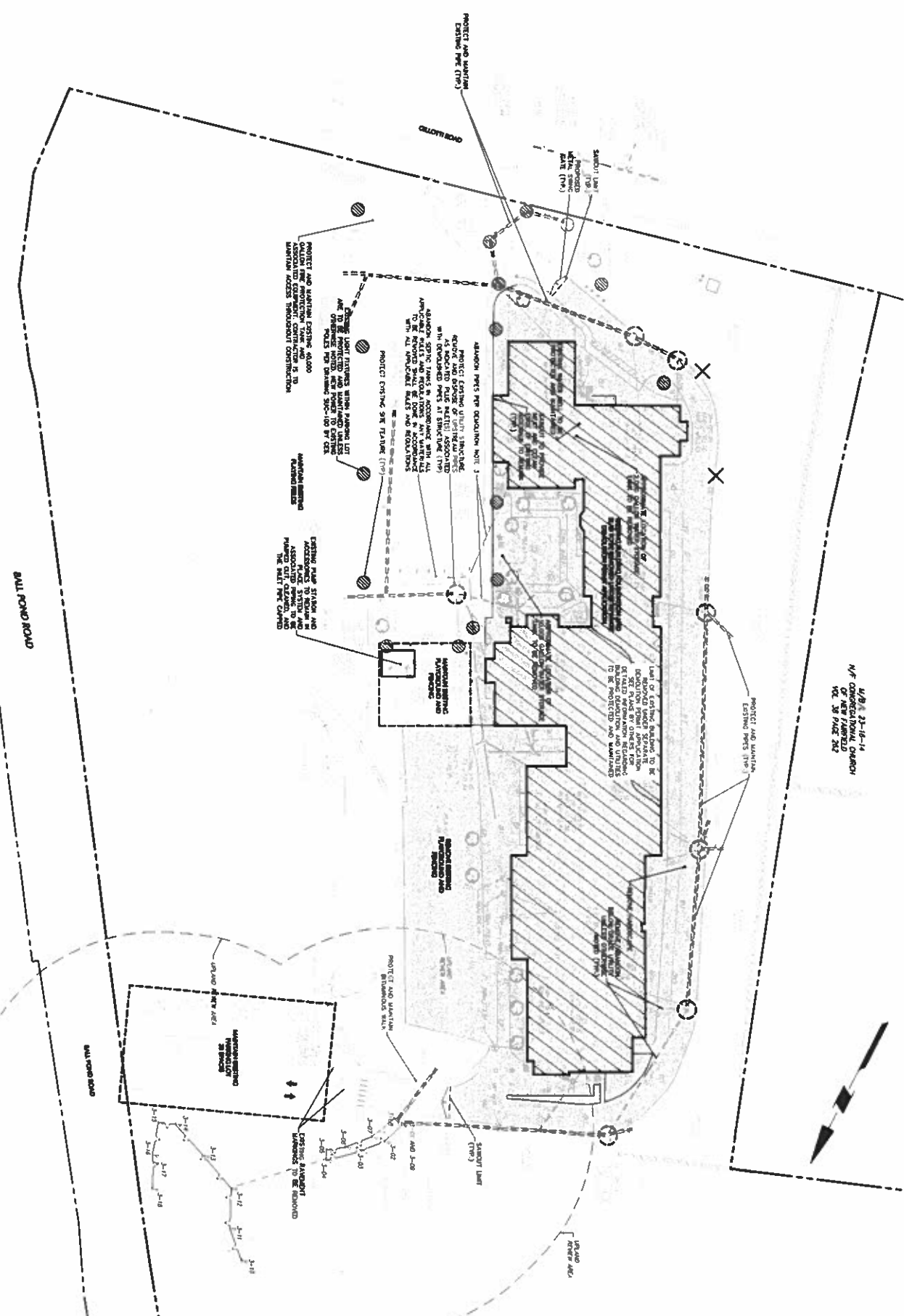
1. 2023-07-0001

LANGAN

120 HINGSHIRE AVENUE
HARTFORD, CT 06106
860.241.2028

C. J. Langan

SPECIAL PERMIT APPLICATION
12/27/2022



C-220

SITE DEMOLITION PLAN - CONSOLIDATED SCHOOL

DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY

300 EAST VERNON AVENUE
HARTFORD, CT 06102

DATE PREPARED: 08/14/2022

PROJECT NUMBER: 2022-0004

JC ARCHITECTURE
121 HARTFORD AVENUE
SUITE 401
HARTFORD, CT 06106
860.241.2228

© 2022 JC Architecture

CONTRACT NUMBER:

Project Name
12272022

LANGAN

Cliff Kelly
CLIFF KELLY
REGISTERED PROFESSIONAL ENGINEER
NO. 10003

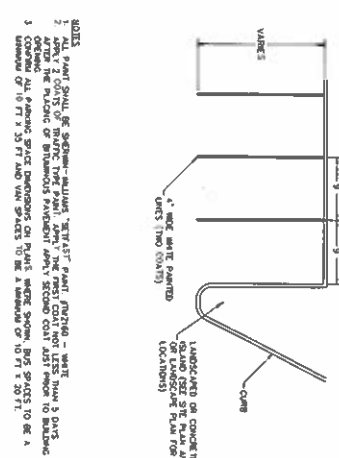
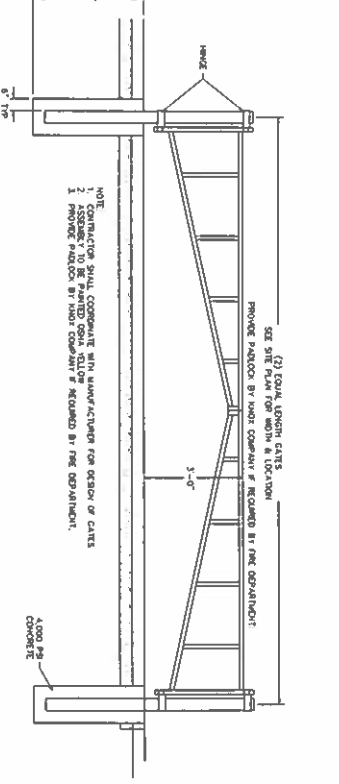
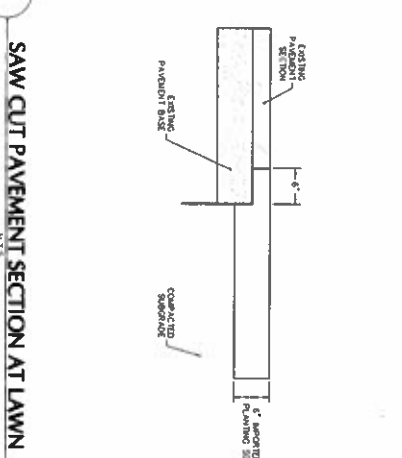
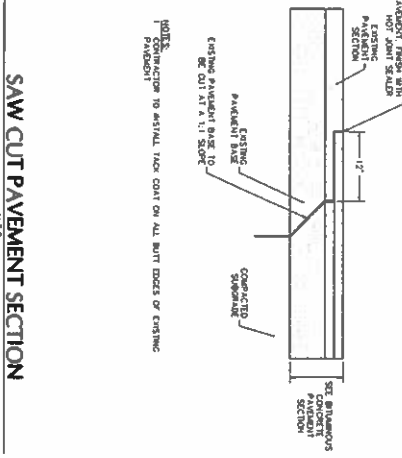
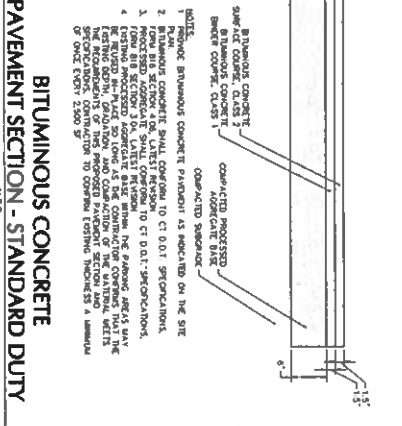
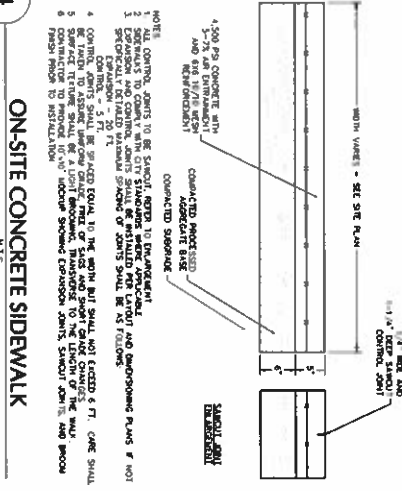
SPECIAL PERMIT APPLICATION
12272022



PROJECT NUMBER	021.0001
DATE	08/14/2022
DRAWN BY	JK
CHECKED BY	JK
SCALE	AS SHOWN
REVISIONS	

SITE DETAILS 1

C-350



- NOTES:**
1. ALL PAINT SHALL BE SEPIUM-BASED, 'TRAFFIC' PAINT, FORTING - WHITE.
 2. ALL PAINT SHALL BE APPLIED TO A CLEAN, DRY, AND OIL-FREE SURFACE.
 3. CONFORM TO ALL PAINTING SPECIFICATIONS ON PLANS, WHERE SHOWN. SEE SPECIFICATIONS TO SECTION 31.00 FOR PAINTING.
 4. ALL PAINTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HARTFORD PUBLIC WORKS DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAINTING.
 5. CONFORM TO ALL PAINTING SPECIFICATIONS ON PLANS, WHERE SHOWN. SEE SPECIFICATIONS TO SECTION 31.00 FOR PAINTING.

DRAINAGE NOTES	
1	ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS
2	LOCATIONS AND ELEVATIONS OF ROOF LEAKERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS. PROVIDE A MINIMUM OF 1/4" DRAINAGE SLOPE AT ALL LOCATIONS OF ROOF PLAIN INTERSECTIONS, ROOFS AND OTHER ENDS.
3	CLARIFY THE LOCATION OF ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES.
4	ALL REQUIRED STORM LAYOUTS SERVING THE BUILDING SHALL BE COMPLETED AND COORDINATED TO THE FLOOR PLAN. PROVIDE ELEVATIONS OF CONNECTIONS WITH THE FLOOR PLAN. BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
5	CONTRACTOR RESPONSIBLE FOR OBTAINING THE APPROPRIATE SIZES OF STORM DRAINAGE PIPING INSTALLATION SHALL CONTACT "X" THE LARGEST AVAILABLE SIZE AND PROVIDE SPECIFICATIONS IN THE PLAN.
6	STORM DRAINAGE PIPING SHALL BE INSTALLED AT THE LARGEST AVAILABLE SIZE AND PROVIDE SPECIFICATIONS IN THE PLAN.
7	ADDITIONAL INFORMATION: PROVIDE SLOPE FOR ALL STORM DRAINAGE PIPING TO BE PROVIDED TO THE STREET OR TO AN EXISTING DRAINAGE STRUCTURE.

GRADING NOTES	
1	ACCESSIBLE PARKING AREAS NOT TO EXCEED 2% IN ANY DIRECTION
2	ACCESSIBLE ROUTES NOT TO EXCEED 5% RAMPING SLOPE OR 2% CROSS-SLOPE
3	BUILDING DRIVEWAYS AND RAMP LAYOUTS NOT TO EXCEED 2% IN ANY DIRECTION
4	ADDITIONAL INFORMATION: PROVIDE SLOPE FOR ALL GRADING TO BE PROVIDED TO THE STREET OR TO AN EXISTING DRAINAGE STRUCTURE.

LEGEND	
PROPERTY LINE	EXISTING
UNLINED AREAS	PROPOSED
WATER CONTROL	EXISTING
STORM DRAIN	PROPOSED
CATCH BASIN	EXISTING
STORM MANHOLE	PROPOSED
MANHOLE	EXISTING
SMALLER MANHOLE	PROPOSED
SMALLER MANHOLE	EXISTING
PROTECTIVE WATER LINE	EXISTING
PROTECTIVE WATER LINE	PROPOSED
UNDERGROUND ELECTRIC	EXISTING
UNDERGROUND TELECOM	EXISTING
UNDERGROUND TELECOM	PROPOSED

GENERAL NOTES	
1	EXISTING INFORMATION OBTAINED FROM THE FOLLOWING: PLANS, RECORDS, AND FIELD SURVEY. THE CLIENT HAS BEEN ADVISED THAT THE EXISTING INFORMATION IS NOT GUARANTEED TO BE COMPLETELY ACCURATE.
2	THE SITE IS LOCATED WITHIN ZONE "A" OF THE CITY OF HARTFORD, CT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HARTFORD, CT.
3	PROPOSED BUILDING FOOTPRINT RECEIVED ELECTRICALLY FROM CEA.
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DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY

JC ARCHITECTURE
150 HARTFORD AVENUE
HARTFORD, CT 06106
860.347.2222

1500 JCI Architects
CONTRACT NO. 12271202
Project No. 12271202
Date: 12/27/2022

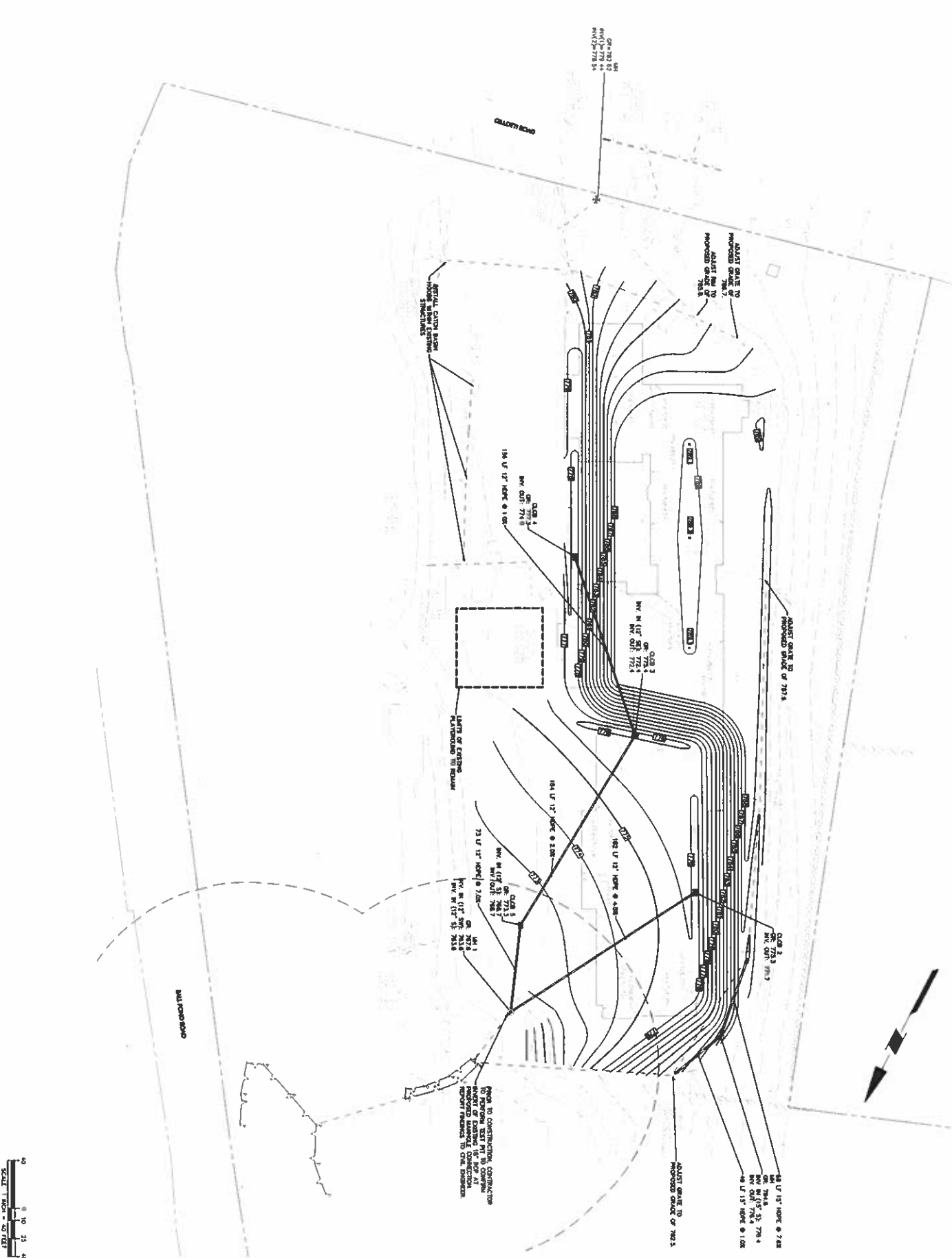
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1500 JCI Architects
CONTRACT NO. 12271202
Project No. 12271202
Date: 12/27/2022

LANGAN

SPECIAL PERMIT APPLICATION
12271202

Cheryl Kelley

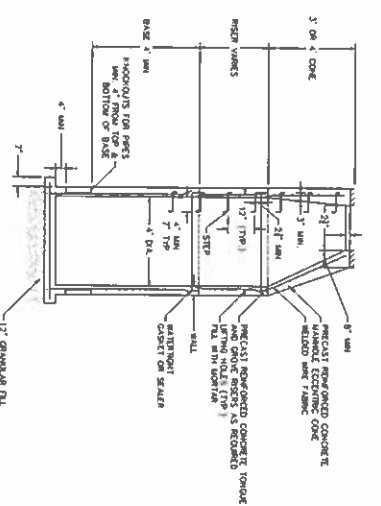
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Project No. 12271202
Date: 12/27/2022



GRADING AND DRAINAGE PLAN - CONSOLIDATED SCHOOL

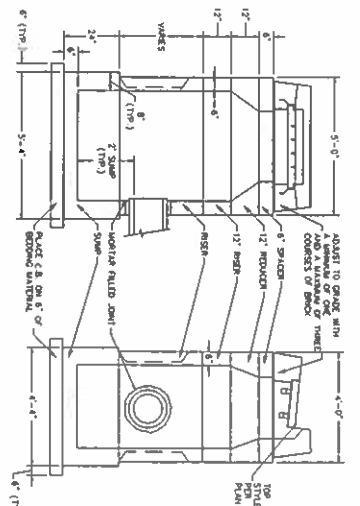
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1500 JCI Architects
CONTRACT NO. 12271202
Project No. 12271202
Date: 12/27/2022



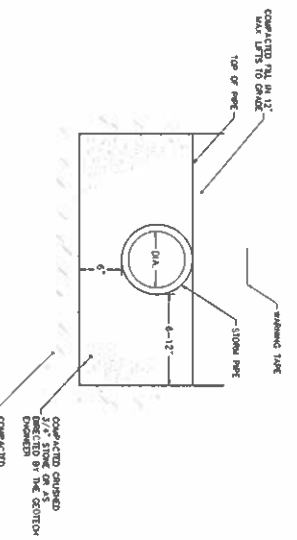
NOTES:
 1. ALL HOODS AND TRAYS FOR CATCH BASINS AND ALL OTHER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).
 2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS FIBER REINFORCED PLASTIC (GFRP) MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).
 3. STRUCTURAL DESIGN OF ALL STRUCTURES SHALL BE BASED ON AN UNIFORM LOAD.

1 STORM MANHOLE
N.T.S.



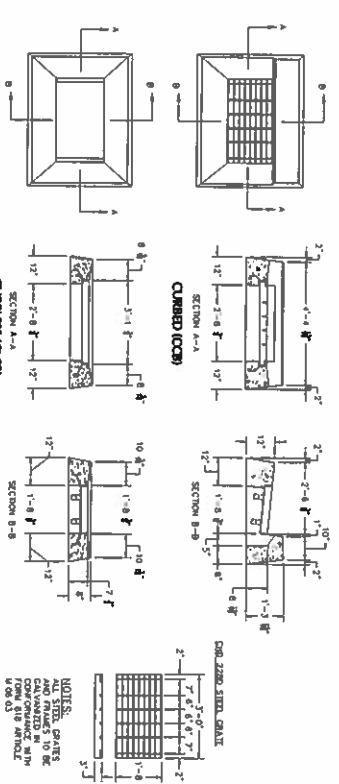
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2 CATCH BASIN
N.T.S.



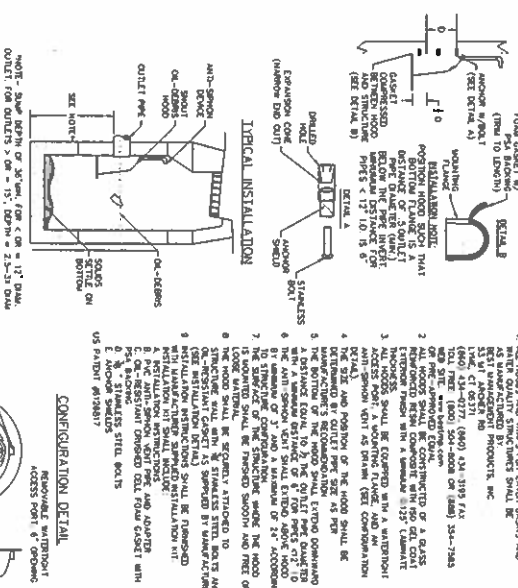
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 3. STRUCTURAL DESIGN OF ALL STRUCTURES SHALL BE BASED ON AN UNIFORM LOAD.

3 STORM PIPE BEDDING
N.T.S.

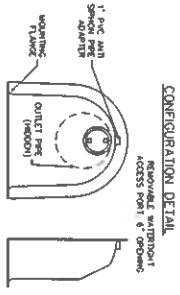


4 CATCH BASIN TOP
N.T.S.

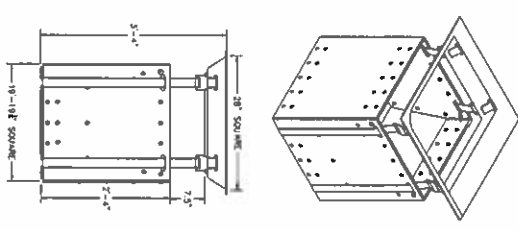
INSTALLATION DETAIL



5 OIL-DEBRIS HOOD
N.T.S.



6 WATER QUALITY INSERT
N.T.S.



PROJECT	04.000
REVISION	01.000
DRAWN BY	JM/MLD
CHECKED BY	MLD
SCALE	AS SHOWN
DATE	12/27/2022

SPECIAL PERMIT APPLICATION
12/27/2022



DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY
 282 MILLWOOD ROAD
 NEW HAVEN, CT 06511
JC ARCHITECTURE
 120 HATSHOR AVENUE
 SUITE 400
 HARTFORD, CT 06183
 862.241.2222

LANGAN

UTILITY NOTES

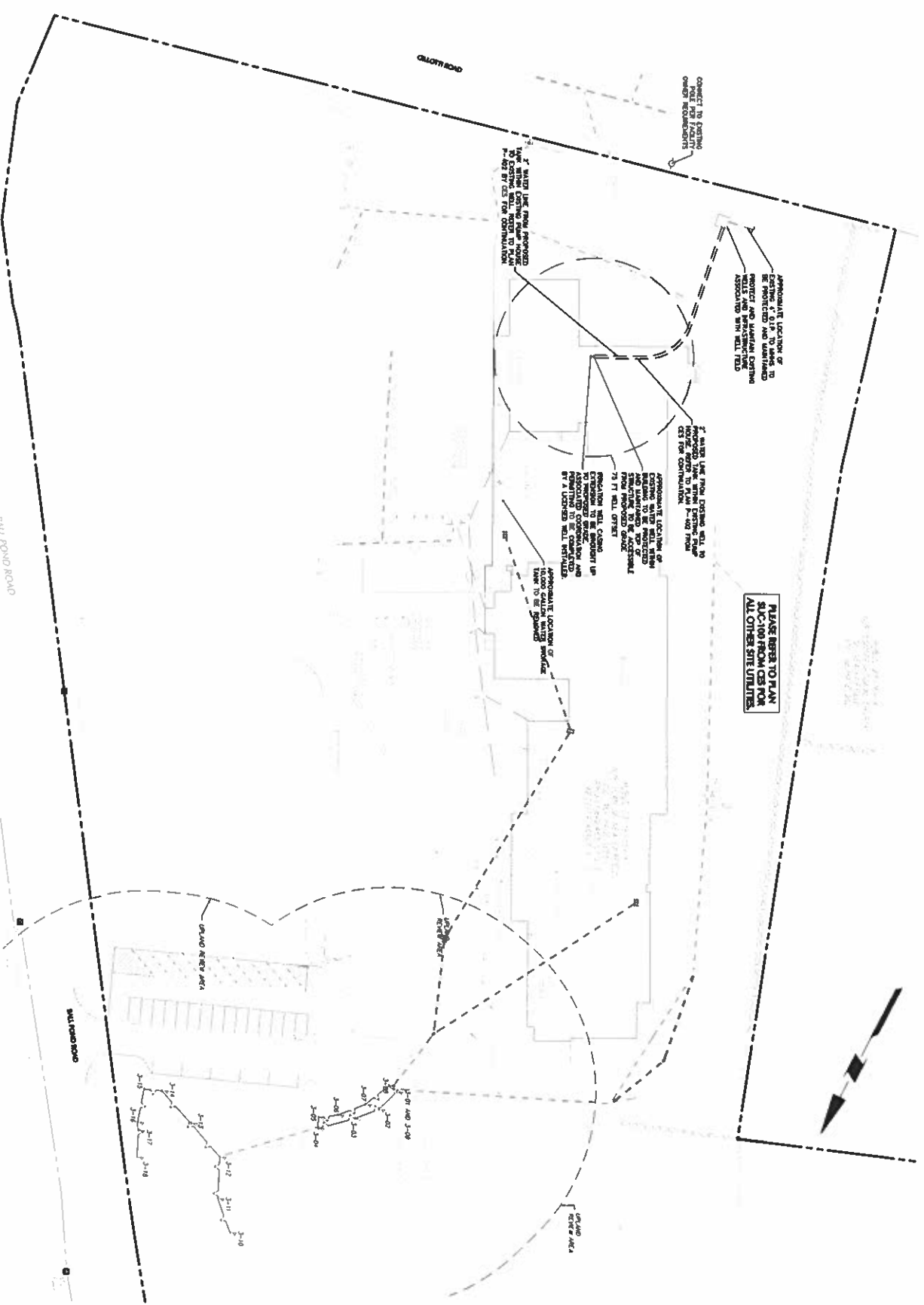
- GENERAL:**
1. THE CONSTRUCTION IS SPECIFICALLY CALIBRATED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE PROJECT CONTRACTOR AND NOT ON FIELD SURVEY DATA.
 2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (ELECTRIC, GAS, TELEPHONE, CABLE, AND OTHER) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND CONDUCTING ALL NECESSARY FIELD SURVEYS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND CONDUCTING ALL NECESSARY FIELD SURVEYS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
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LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
LINE OF RECORDS	LINE OF RECORDS
EXISTING CONDUIT	EXISTING CONDUIT
EXISTING CABLE	EXISTING CABLE
EXISTING WATER MAIN	EXISTING WATER MAIN
EXISTING SANITARY SEWER	EXISTING SANITARY SEWER
EXISTING SLOTTED WATER LINE	EXISTING SLOTTED WATER LINE
PROPOSED CONDUIT	PROPOSED CONDUIT
PROPOSED CABLE	PROPOSED CABLE
PROPOSED WATER MAIN	PROPOSED WATER MAIN
PROPOSED SANITARY SEWER	PROPOSED SANITARY SEWER
PROPOSED SLOTTED WATER LINE	PROPOSED SLOTTED WATER LINE

GENERAL NOTES

1. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE PROJECT CONTRACTOR AND NOT ON FIELD SURVEY DATA.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (ELECTRIC, GAS, TELEPHONE, CABLE, AND OTHER) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND CONDUCTING ALL NECESSARY FIELD SURVEYS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
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4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS AND CONDUCTING ALL NECESSARY FIELD SURVEYS TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.



EXISTING 10,000 GALLON UNDERGROUND STORAGE TANK IN FRONT OF EXISTING SCHOOL TO BE REMOVED



DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY

JC ARCHITECTURE
120 HINSHORE AVENUE
HARTFORD, CT 06108
860.231.2228

STAFF: PROJECT NUMBER: 017-00028
DATE: 02/25/2021

LANGAN

PROJECT: PROJECT NUMBER: 017-00028
DATE: 02/25/2021

SPECIAL PERMIT APPLICATION
1/22/2022

Cheryl Kelly

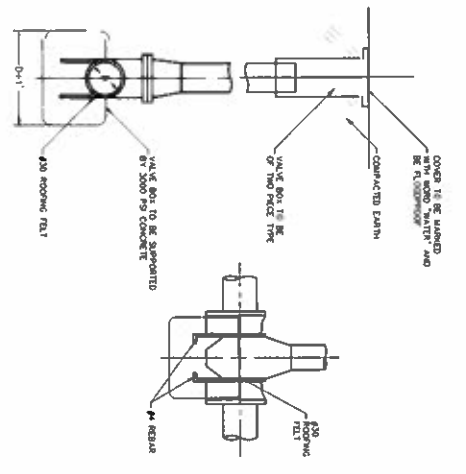
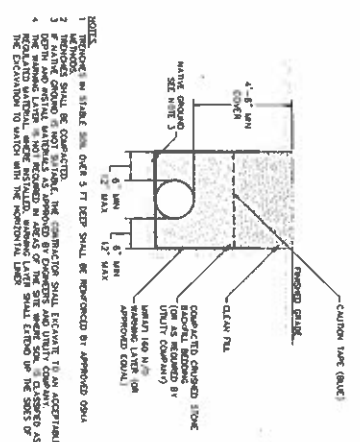
PROJECT: PROJECT NUMBER: 017-00028
DATE: 02/25/2021

SITE UTILITY PLAN - CONSOLIDATED SCHOOL

C-520

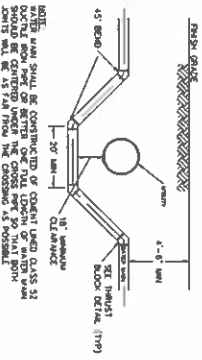
REVISIONS:

NO.	DATE	DESCRIPTION

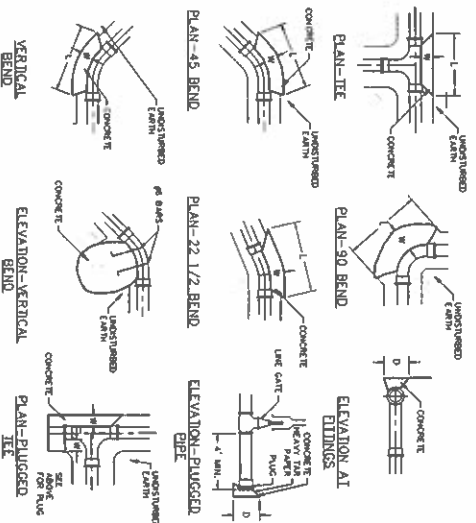


1 WATER MAIN TRENCH N.T.S.

2 GATE VALVE N.T.S.



3 WATER MAIN DROP N.T.S.



4 THRUST BLOCKS N.T.S.

THRUST BLOCK SCHEDULE		
PIPE SIZE	THRUST BLOCK SIZE	MINIMUM DISTANCE
6"	18"	15"
8"	24"	20"
10"	30"	25"
12"	36"	30"
15"	45"	37 1/2"
18"	54"	45"
24"	72"	60"

2000 LB/50 FT SQ. RESISTANCE

200 LB/50 FT SQ. RESISTANCE

500 LB/50 FT SQ. RESISTANCE

SEE SPEC FOR FURTHER DETAILS

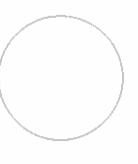
NOTE:

1. SET MATERIALS ARE ENCOURAGED.

2. CONCRETE TO BE 2000 PSI.

SPECIAL PERMIT APPLICATION
1/27/2022

Chapman



PROJECT	DATE
DRAWN	DATE
CHECKED	DATE
APPROVED	DATE

SITE UTILITY DETAILS

C-550

DENILION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY

100 HILL STREET, HARTFORD, CT 06103

JC ARCHITECTURE
100 HILL STREET, HARTFORD, CT 06103
860.241.2222

100 HILL STREET, HARTFORD, CT 06103

LANGAN

CONSTRUCTION SEQUENCE

1. CONSTRUCTION BEGINS
2. NOTIFY ALL ADJACENT TOWN DEPARTMENTS PRIOR TO CONSTRUCTION
3. CONDUCT SURVEY IN ACCORDANCE WITH ALL SPECIFICATIONS
4. OBTAIN ALL NECESSARY PERMITS AND APPROVALS
5. OBTAIN ALL RECORDS FROM ALL ADJACENT TOWN DEPARTMENTS
6. OBTAIN ALL RECORDS FROM ALL ADJACENT TOWN DEPARTMENTS
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20. OBTAIN ALL RECORDS FROM ALL ADJACENT TOWN DEPARTMENTS

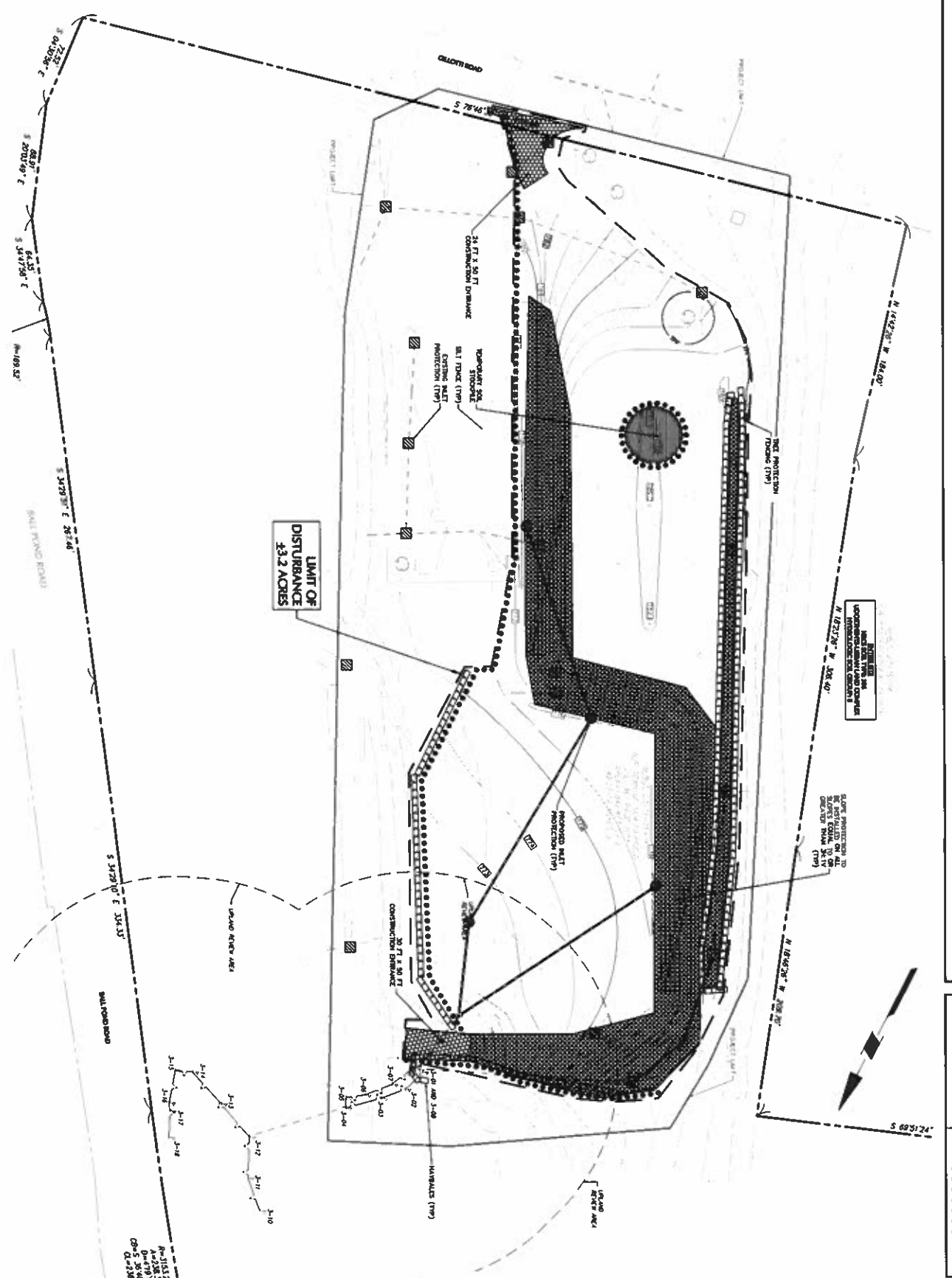
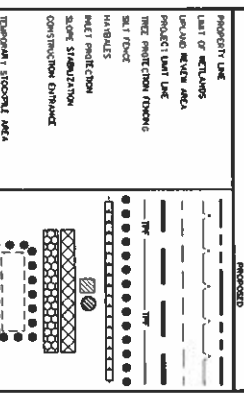
SOIL EROSION-SEDIMENT CONTROL NOTES

1. CONSTRUCTION SHALL BE LIMITED TO THE SPECIFIED AREAS AND SHALL NOT BE EXTENDED TO ANY OTHER AREAS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REINSTALLED AS NECESSARY.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
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20. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REINSTALLED AS NECESSARY.

GENERAL NOTES

1. EXISTING UTILITIES SHOWN ON THIS PLAN ARE TO BE MAINTAINED AND PROTECTED.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
3. ALL UTILITIES SHALL BE COVERED WITH A MINIMUM OF 18" OF CONCRETE.
4. ALL UTILITIES SHALL BE COVERED WITH A MINIMUM OF 18" OF CONCRETE.
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20. ALL UTILITIES SHALL BE COVERED WITH A MINIMUM OF 18" OF CONCRETE.

LEGEND



DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY AND BUILDING AND NEW BUILDING AT 600-602

JC ARCHITECTURE
120 HARTFORD AVENUE
HARTFORD, CT 06106
860.241.2228

LANGAN
120 HARTFORD AVENUE
HARTFORD, CT 06106
860.241.2228

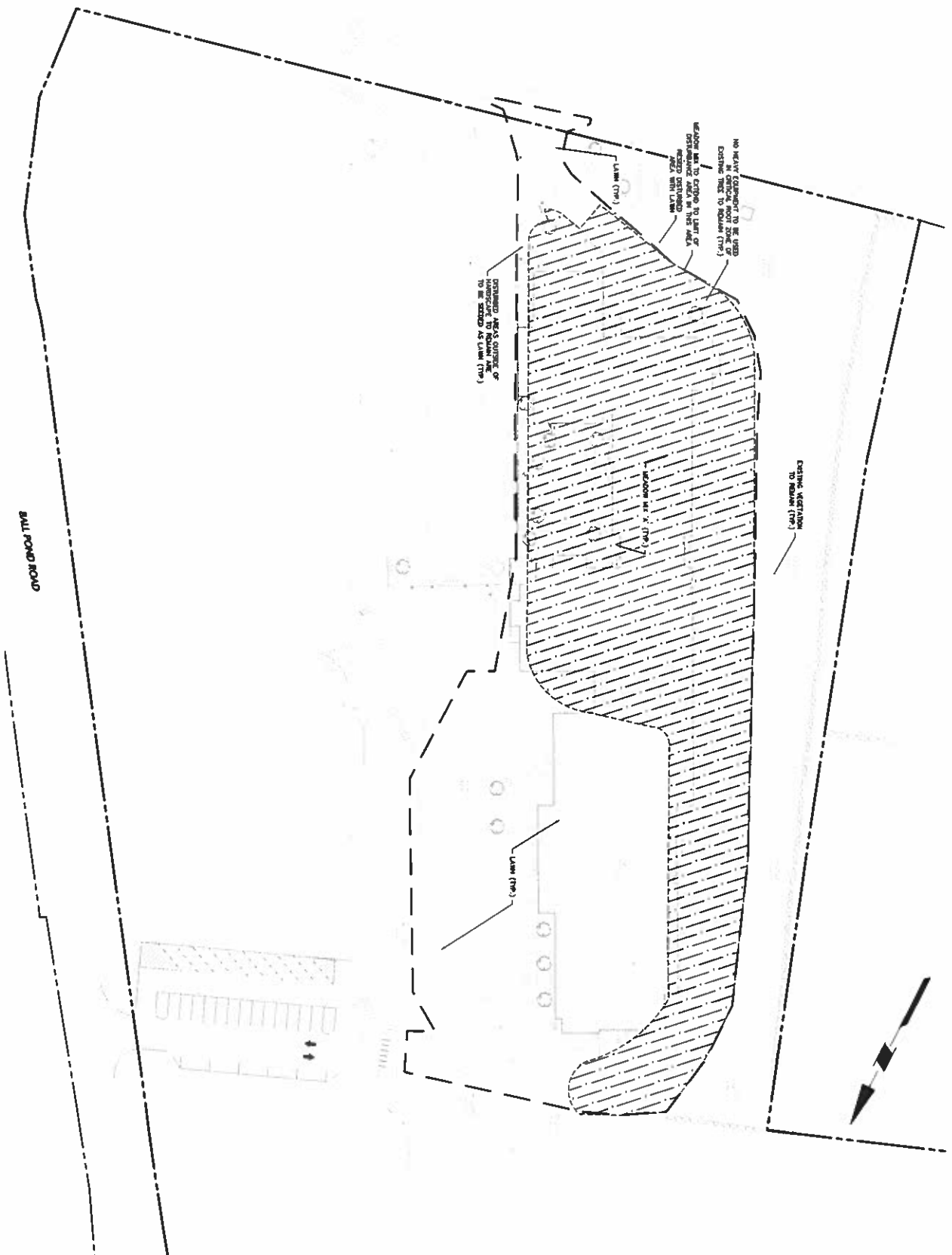
CLIFFORD
SPECIAL PERMIT APPLICATION
12/27/2022

SOIL EROSION AND SEDIMENT CONTROL PLAN - CONSOLIDATED SCHOOL

C-620

DATE: 11/19/22
DRAWN: JMS
SCALE: 1/8"=1'-0"

PROJECT: 600-602
SHEET: 1 OF 1



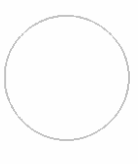
DEMOLITION AND ABATEMENT OF THE EXISTING CONSOLIDATED EARLY LEARNING ACADEMY
 302 BALL POND ROAD
 NEW HAVEN, CT 06512
 STAFF: PROJECT NUMBER: NH-20-0252

JCM ARCHITECTURE
 120 HARTFORD AVENUE
 SUITE 400
 HARTFORD, CT 06106
 860.241.8228

LANEGAN
 Planning & Design
 1000 WEST STREET
 SUITE 200
 HARTFORD, CT 06106
 860.241.8228



SPECIAL PERMIT APPLICATION
 12/27/2022



PROJECT: 02-1888
 PERIOD: 07/1/2022
 DATE: 12/27/22
 DRAWN BY: MJC
 SCALE: 1/4" = 1'-0"
 REVISIONS:

PLANTING PLAN - CONSOLIDATED SCHOOL

L-120

