

**ZONING COMMISSION**  
Town of New Fairfield  
4 Brush Hill Rd.  
New Fairfield, CT 06812  
203-312-5646 Fax 203-312-3508

**SITE PLAN APPLICATION**

Application Number SI-22-022

Map: 19 Block: 15 Lot: 23a

Please type or print:

Date: August 2, 2022

Applicant: Artel Engineering Group, LLC

Mailing Address: 304 Federal Road, Suite 308, Brookfield, CT 06804

Project Address: 100 Route 37

Phone No: 203-740-2033

Owner (s) of Record: ECB Realty, LLC

Address: 28 Eagle Road, Danbury, CT

Phone No: 203-733-2004

Application is hereby made for site plan per section 8.1 and pursuant to the following section (s) of the Zoning Regulations:  
Section 4.1.1D - Uses or Buildings permitted as of Right

For the following purpose: General Office

In compliance with the requirements of the Zoning Regulations, I am hereby submitting the fee, plans, documents and additional information as required.

Fee of **\$160.00** (Includes State Surcharge).

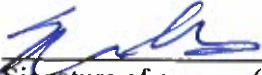
Application Requirements:  
(see attached)

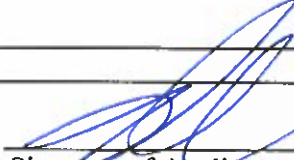
**received**  
8-2-22

Report from Health Department on adequacy of sewage disposal system and water supply.

Report (s) from other Town Agencies as follows:

- Fire Marshal
- Town Engineer
- Inland Wetland Commission
- Conn. Dept. of Transportation
- Zoning Enforcement Officer
- Other Agency (please specify) \_\_\_\_\_
- Copy of additional information as follows: \_\_\_\_\_

 8/02/22  
Signature of owner (date)

 8/2/2022  
Signature of Applicant (date)

.....  
For Office Use Only

This Application Complies     Does Not Comply    with the requirements of the zoning regulations.

Application Complete: \_\_\_\_\_ Yes    \_\_\_\_\_ No

The application fails to comply as follows: \_\_\_\_\_

Comments: \_\_\_\_\_

Review by Zoning Enforcement Officer \_\_\_\_\_ Date \_\_\_\_\_

Date of Receipt by Zoning Commission: \_\_\_\_\_

Date of Commission Action: \_\_\_\_\_ Legal Notice Published \_\_\_\_\_

Application Approved     Application Denied

Application Approved & Modified

Conditions: \_\_\_\_\_

# Memorandum

To: New Fairfield Zoning Commission

From: Timothy Simpkins, R.S. New Fairfield Health Department

Date: August 2, 2022

Re: 100 Art. 37 - 763<sup>rd</sup> of office space

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Please be advised that with regard to the above referenced proposal:

The New Fairfield Health Department has no objection.

Further testing / information is required prior to New Fairfield Health Department approval.

The New Fairfield Health Department has no objection; however State of Connecticut consent is required prior to final Health approval.

The New Fairfield Health Department cannot approve this project.

Other: \_\_\_\_\_

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If you have any questions, please do not hesitate to contact me.

# ARTEL ENGINEERING GROUP, LLC

CIVIL, ENVIRONMENTAL AND MUNICIPAL ENGINEERS • PROJECT MANAGERS • SITE PLANNERS • PERMIT EXPEDITORS  
304 FEDERAL ROAD, SUITE 308, BROOKFIELD, CONNECTICUT 06804 – PHONE: 203-740-2033 • FAX: 2 03-740-2067

July 14, 2022

Mr. Timothy Simpkins, MA, RS  
Director of Health  
Town of New Fairfield  
4 Brush Hill Road  
New Fairfield, Connecticut 06812

Re: Septic System  
100 Route 37, New Fairfield, CT  
Map 19, Block 15, Lot 23A

Dear Mr. Simpkins:

The purpose of this letter is to serve as a feasibility evaluation and confirmation of the existing subsurface sewage disposal system and the proposed 763-sf office space use at the above referenced property. The property owner of the above referenced property is seeking to lease approximately 763-sf of currently vacant floor area on the second floor of the building to a small business, employing 2-people for general office use. It is estimated that the daily sewage flows from this use will be approximately 40-gallons (2-people x 20gpd/person).

An analysis of water use data, as provided by the property owner, indicates that average daily flows for the two-year period starting from June 2020, ending June 2022 are approximately 1,380-gpd with an average daily high flow of 1,960-gpd during the May-June 2021 period and an average daily low of 1,110-gpd during the July-August 2020 period. The average daily flows calculated for the past year of readings indicates an average daily flow of 1,370-gpd. The estimated daily water flow for the existing uses and the proposed office space is, conservatively, 1,420-gpd.

Based on design, the existing septic system on this property has 3,328-sf of effective leaching area having capacity to disperse approximately 2,903-gallons of sewage per day. The existing daily sewage design flow capacity exceeds the estimated proposed daily sewage flows.

Based on the current existing and proposed uses at this property at this time, it is the professional opinion of this office that there is adequate septic system capacity for the proposed use at this site at this time. Please feel free to contact this office with any questions, comments or concerns.

Sincerely,  
ARTEL ENGINEERING GROUP, LLC

*Dainius L. Virbickas*

Dainius Virbickas, P.E.  
Professional Engineering Manager

# Tim Simpkins

**From:** dvirbickas.artelengineering.com <dvirbickas@artelengineering.com> on behalf of dvirbickas.artelengineering.com  
**Sent:** Friday, July 15, 2022 11:15 AM  
**To:** Tim Simpkins; Chris Chaber  
**Subject:** 100 route 37  
**Attachments:** DC15421HealthDeptLetter07-14-22.pdf

Good morning Gentlemen,

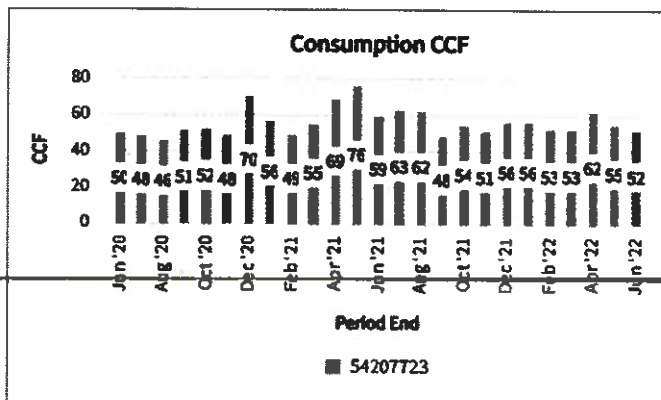
All is good, from a septic system standpoint, for using a portion of the upstairs floor space as an office in the building at the above referenced property. Please refer to the attached.

Regards, Dainius  
DAINIUS L. VIRBICKAS, PE  
**ARTEL ENGINEERING GROUP, LLC**  
304 FEDERAL ROAD, SUITE 308  
BROOKFIELD, CT 06804

P: 203-740-2033  
F: 203-740-2067

## My Usage 🕒

Account: 100 RTE 37 NEW ... Download ⬇ Apply filter? ☰



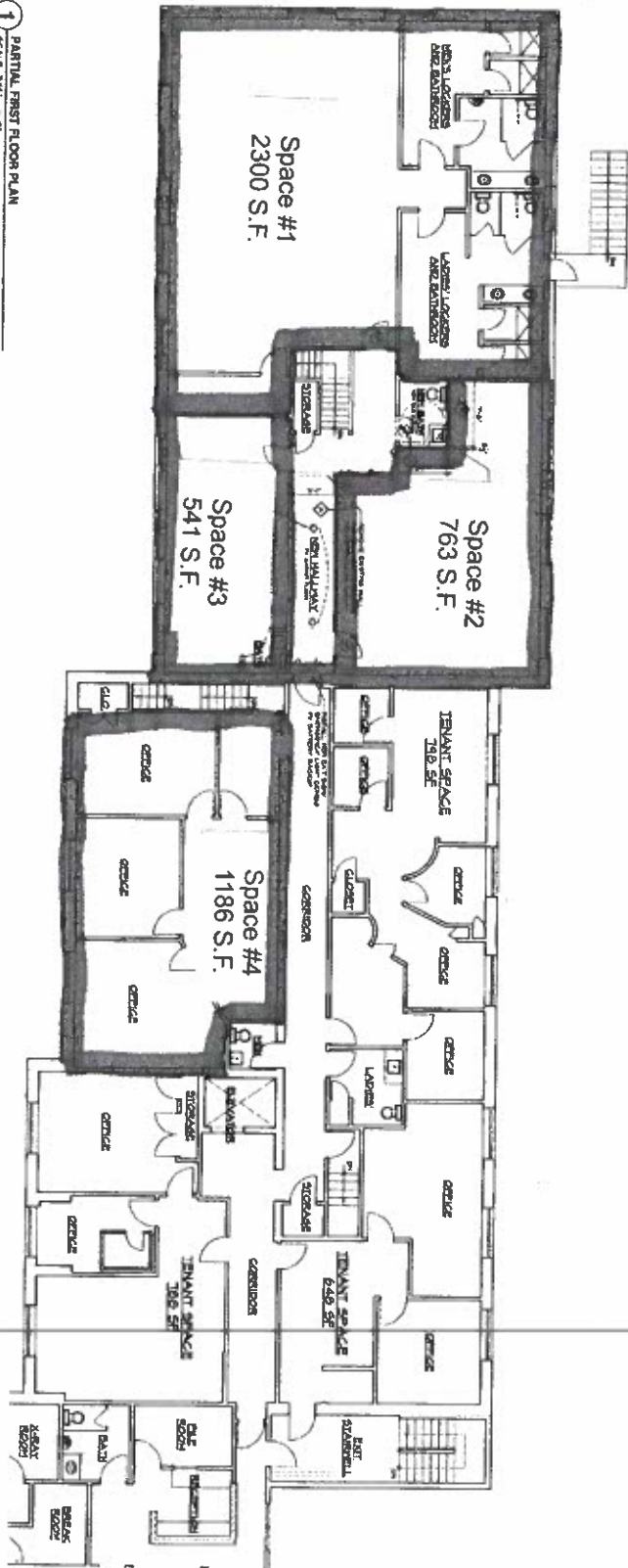
## 💡 Usage Insights

**Your High:** 76.00 (CCF) - May 2021  
**Your Average:** 55.76 (CCF)  
**Your Low:** 46.00 (CCF) - August 2020

## 🔍 Usage Details

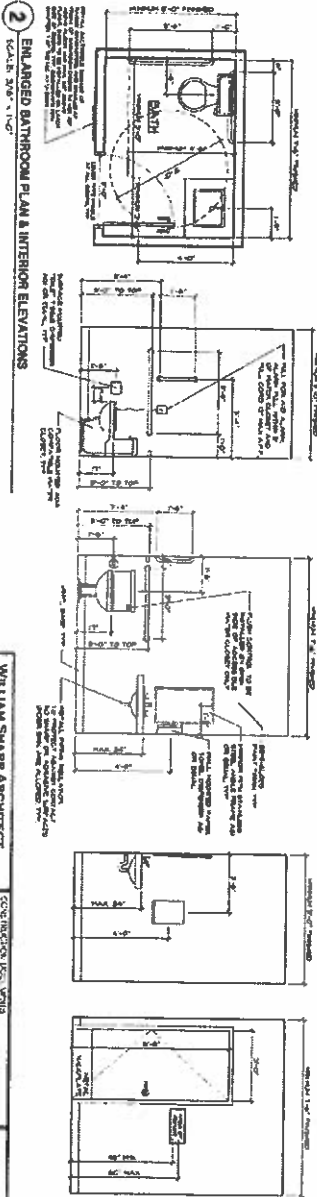
Meter	Usage	Period
54207723	50.00	06/23/2
54207723	48.00	07/24/2

1 PARTIAL FIRST FLOOR PLAN  
SCALE: 3/8" = 1'-0"



PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

2 ENLARGED BATHROOM PLAN & INTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"



- REVISIONS:**
1. REVISIONS TO BE MADE TO THE PLAN AND ELEVATIONS TO REFLECT THE LATEST REVISIONS TO THE ARCHITECTURAL RECORD SET.
  2. REVISIONS TO BE MADE TO THE PLAN AND ELEVATIONS TO REFLECT THE LATEST REVISIONS TO THE ARCHITECTURAL RECORD SET.
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  10. REVISIONS TO BE MADE TO THE PLAN AND ELEVATIONS TO REFLECT THE LATEST REVISIONS TO THE ARCHITECTURAL RECORD SET.

**WILLIAM SHARP ARCHITECT**  
**ESS DESIGN, LLC**  
 1200 West 10th Street  
 Suite 200  
 Denver, CO 80202  
 Phone: 303.733.1111  
 Fax: 303.733.1112  
 Email: wsharp@essdesign.com

**CONTRACTOR:** JACOBS  
**PARTIAL SECOND FLOOR PLAN**

**PROPOSED CONDITIONS**  
**EXISTING BUILDING**  
 100 NORTH ST  
 DENVER, CO

Drawn by	CS	Checked by	CS
Date	6/23/10	Date	6/23/10
Scale	As Shown	Scale	As Shown
<b>A-2</b>			

# ARTEL ENGINEERING GROUP, LLC

CIVIL, ENVIRONMENTAL AND MUNICIPAL ENGINEERS • PROJECT MANAGERS • SITE PLANNERS • PERMIT EXPEDITORS  
304 FEDERAL ROAD, SUITE 308, BROOKFIELD, CONNECTICUT 06804 – PHONE: 203-740-2033 • FAX: 203-740-2067

August 1, 2022

Mr. Evan White, Zoning Enforcement Officer  
Town of New Fairfield  
4 Brush Hill Road  
New Fairfield, Connecticut 06812

Re: Parking  
100 Route 37, New Fairfield, CT  
Map 19, Block 15, Lot 23A

Dear Mr. White:

As a follow-up to our letter to you dated September 14, 2018, we offer the following:

The property owner of the above referenced property is seeking to lease approximately 763-gross sf of vacant floor area (for 'general office' use having one or two employees) located on the second floor of the building at the above referenced location. The floor area represents a small portion of the multiple existing mixed use tenant spaces located within the existing commercial building on this site. The existing commercial building and associated site improvements were constructed in 1977 and no building additions or site modifications are required or are being proposed at this time.

Based on town Zoning Regulations and full occupancy of the building, the proposed uses will require approximately 132 parking spaces but the site is physically limited to 90 parking spaces. It is important to note that based on observation of existing daily operations, it appears that there is a surplus of parking provided when compared to the number of parking spaces required by the town zoning regulations for the existing uses.

Per section 6.2.9 Parking Schedule of the New Fairfield Zoning Regulations, the proposed 'general office' use requires 3-parking spaces (one space per 250-sf of gross floor area). According to the prospective tenant, staff of one or two will be occupying the space 'part time' as they will be sharing their work schedule between this office space and their current space in New York state. Anticipated hours of operation will be generally from 8 AM to 5 PM during the week.

Based on the current existing uses at this property, it is the professional opinion of this office that there is adequate parking capacity for the proposed 'general office' use (as well as for full future occupancy of the upper level by general office uses) at this site at this time.

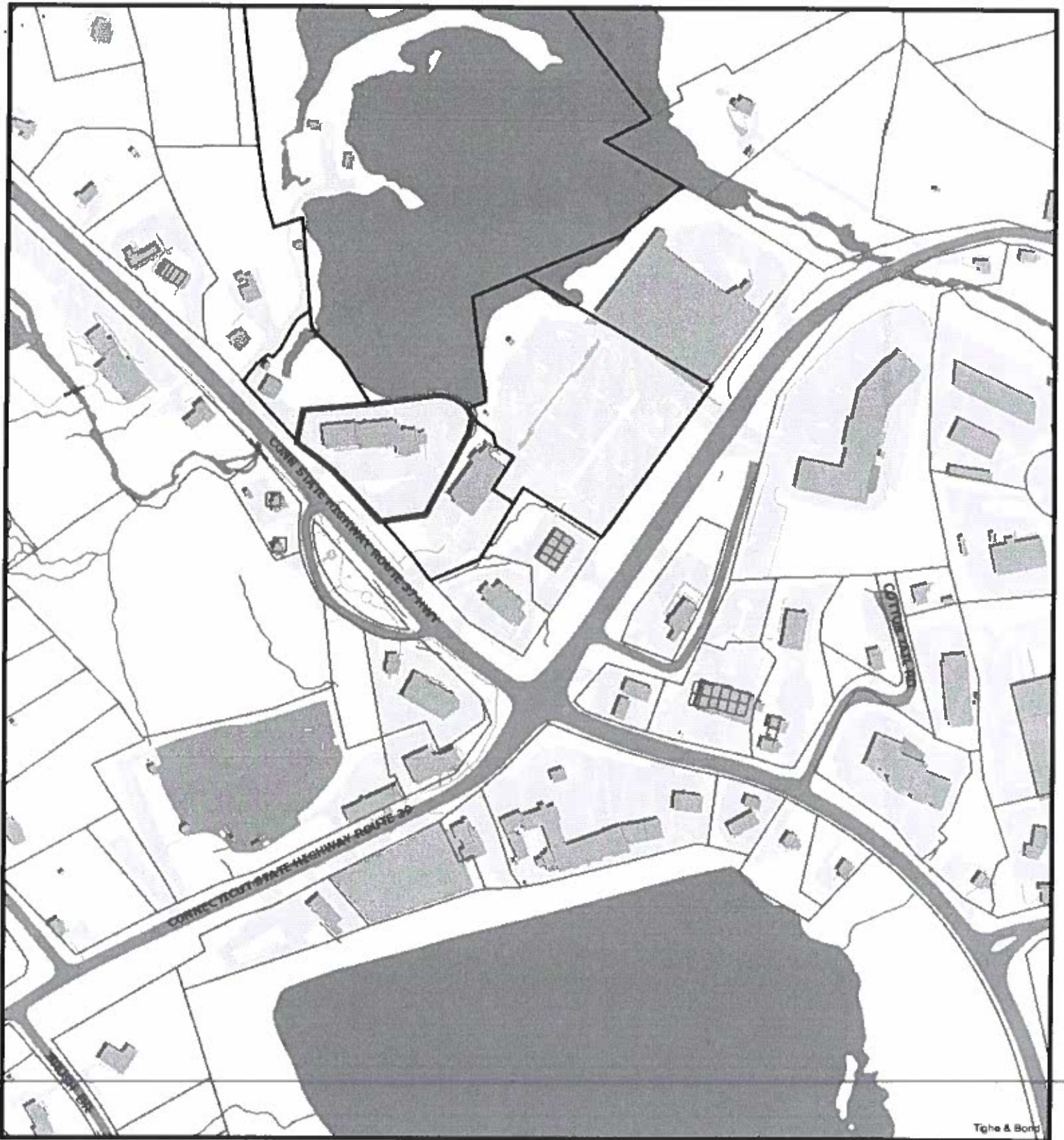
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Please feel free to contact this office with any questions, comments or concerns.

Sincerely,  
ARTEL ENGINEERING GROUP, LLC

*Dainius L. Virbickas*

Dainius Virbickas, P.E.  
Professional Engineering Manager



# 100 Rte 37

7/26/2022 3:13:10 PM

Scale: 1"=300'

Scale is approximate

The information depicted on this map is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel-level analyses.



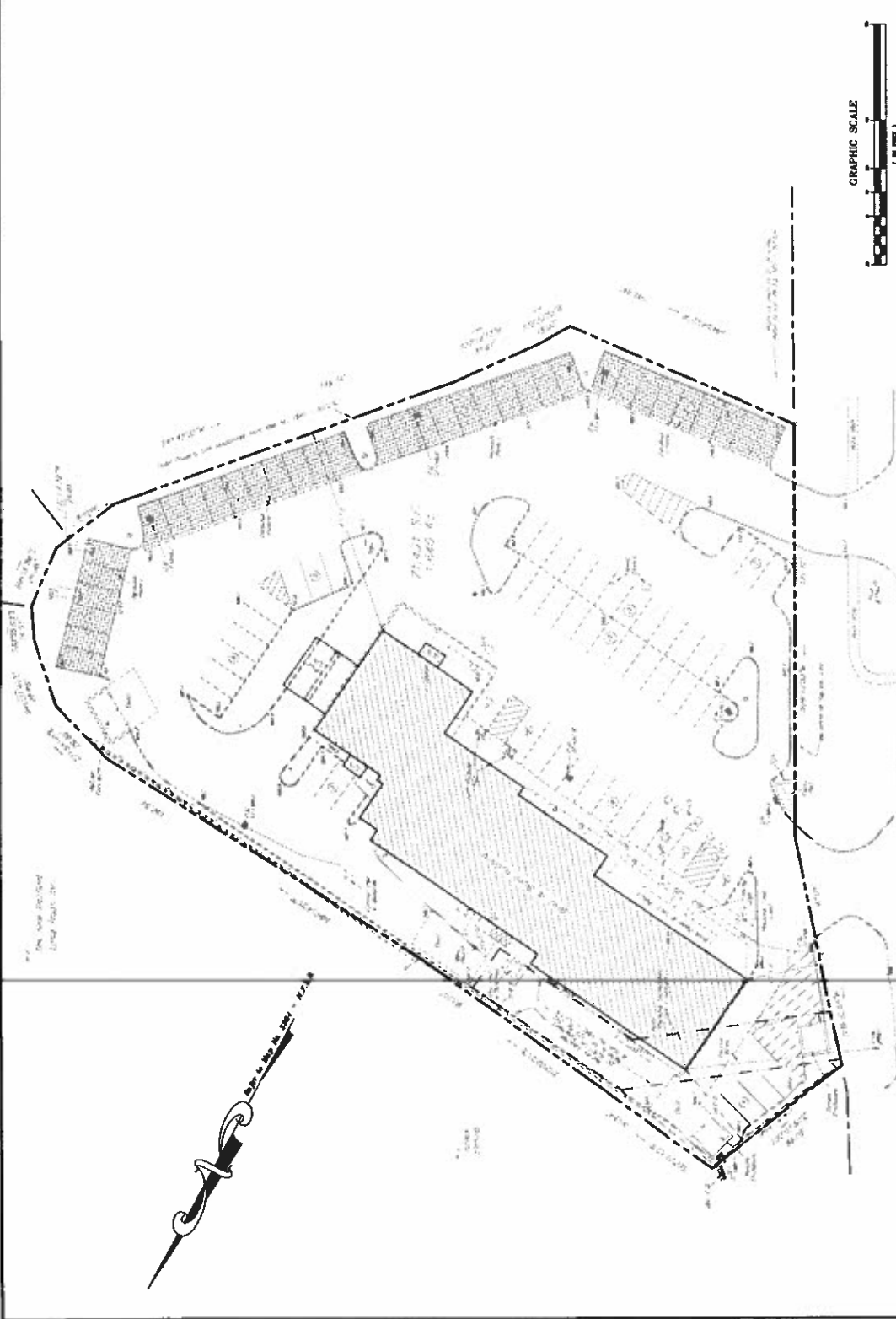


### ZONING ANALYSIS TABLE

DATE	DESCRIPTION	BY	FOR
10/15/17	PRELIMINARY ZONING ANALYSIS	ARTTEL ENGINEERING GROUP, LLC	FOR THE PROPOSED DEVELOPMENT
11/15/17	REVISIONS TO ZONING ANALYSIS	ARTTEL ENGINEERING GROUP, LLC	FOR THE PROPOSED DEVELOPMENT
12/15/17	FINAL ZONING ANALYSIS	ARTTEL ENGINEERING GROUP, LLC	FOR THE PROPOSED DEVELOPMENT

**GENERAL NOTES**

1. ALL DISTANCES ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.
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19. ALL DISTANCES ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.
20. ALL DISTANCES ARE TO THE CENTER OF THE ROAD UNLESS OTHERWISE NOTED.



**ARTTEL ENGINEERING GROUP, LLC**  
 304 FEDERAL ROAD - SUITE 205  
 FARMINGTON, CT 06031-2007  
 TEL: (860) 646-1000  
 FAX: (860) 646-1001  
 WWW.ARTTEL.COM

PROJECT NUMBER: 17-001  
 PROJECT NAME: REVISED SITE PLAN  
 PROJECT LOCATION: 100 ROUTE 37  
 PROJECT OWNER: EOB REALTY, LLC  
 PROJECT ARCHITECT: NEW HAVEN, CONNECTICUT

PROPOSED DEVELOPMENT: [REDACTED]  
 EXISTING DEVELOPMENT: [REDACTED]  
 EXISTING ZONING: [REDACTED]  
 PROPOSED ZONING: [REDACTED]

DATE: 11/15/17  
 DRAWN BY: [REDACTED]  
 CHECKED BY: [REDACTED]  
 PROJECT ARCHITECT: [REDACTED]

PROJECT NUMBER: 17-001  
 PROJECT NAME: REVISED SITE PLAN  
 PROJECT LOCATION: 100 ROUTE 37  
 PROJECT OWNER: EOB REALTY, LLC  
 PROJECT ARCHITECT: NEW HAVEN, CONNECTICUT

DATE: 11/15/17  
 DRAWN BY: [REDACTED]  
 CHECKED BY: [REDACTED]  
 PROJECT ARCHITECT: [REDACTED]

Route 37

Legend:  
 - [Symbol] Existing Building  
 - [Symbol] Proposed Building  
 - [Symbol] Existing Road  
 - [Symbol] Proposed Road  
 - [Symbol] Existing Utility  
 - [Symbol] Proposed Utility