

APPLICATION OR APEAL#: 16-22

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

1) Applicant: Brad Banks
Mailing Address: 8 Timber Springs Rd New Fairfield
Phone#: 203-889-1408
Email: Office @ Excel - CT. com

2) Premises located at: 8 Timber Springs Rd on the (N S E (W)) side of the street
at approx. 800 feet (N S E W) from Titicus Mountain Rd (nearest intersecting road).

3) Property Owner Name: Brad Banks
Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 27 Block No.: 2 Lot No.: 14

5) Zone in which property is located: 2 Area of Lot: 2.04 Ac

6) Dimensions of Lot: Frontage: 177.21' Average Depth: 694

7) Do you have any Right of Ways or Easements on the property? NO

8) Is the property within 500 feet of Danbury, Sherman or New York State? NO

9) Have any previous applications been filed with ZBA on this property? NO

If so, give dates and application numbers: _____

*10) Proposal for which variance is requested: pool and pool house / gazebo

*Hardship: Existing non conforming narrow lot with significant ledge throughout and wet land crossing in rear

11) Date of Zoning Commission Denial: March 29, 2022

12) Variance(s) Requested: () USE () DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: _____ Rear to: _____
Side to: pool (Right) 25' Side to: _____

13) Use to be made of property if variance is granted: Residential
Minor accessory Structure (pool shed) Right - 15'

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

SIGNATURE OF OWNER OR AGENT: Brad Banks DATE: 3-20-22

ZONING BOARD OF APPEALS
APR 16 2022

PROPOSAL

#4

Received
3-22-22

**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE

FROM: Evan White, Zoning Enforcement Officer

DATE: March 29, 2022

PROPERTY OWNER: Brad Banks

PROPERTY ADDRESS: 8 Timber Springs

APPLICANT/AGENT: Brad Banks

MAILING ADDRESS: 8 Timber Springs

ZONING DISTRICT: R-88 MAP: 27 BLOCK: 2 LOT: 14

Please be advised that the applicant would like to (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.0.4-Minor Accessory Buildings and Structures (C+D+E+F)

3.0.6-Swimming Pools (B)

3.1.6-Minimum Building and Structure Setbacks (B)

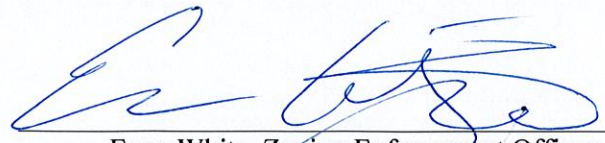
7.1.1.1-Improved Lots in Validated Subdivision or Recorded Approved Subdivision and Resubdivision (A+B)

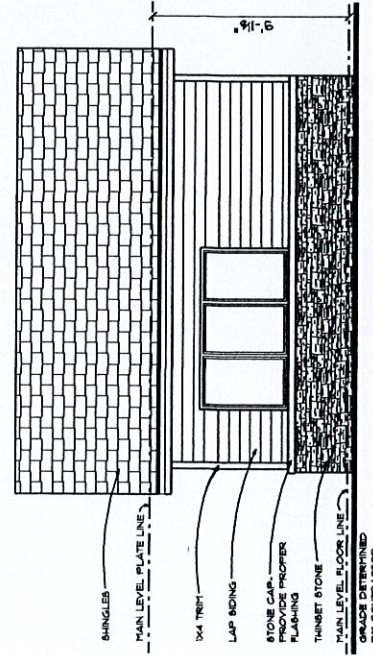
7.2.3-Nonconforming Use of Building or Structure; Nonconforming Building or Structures (A+B+E)

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

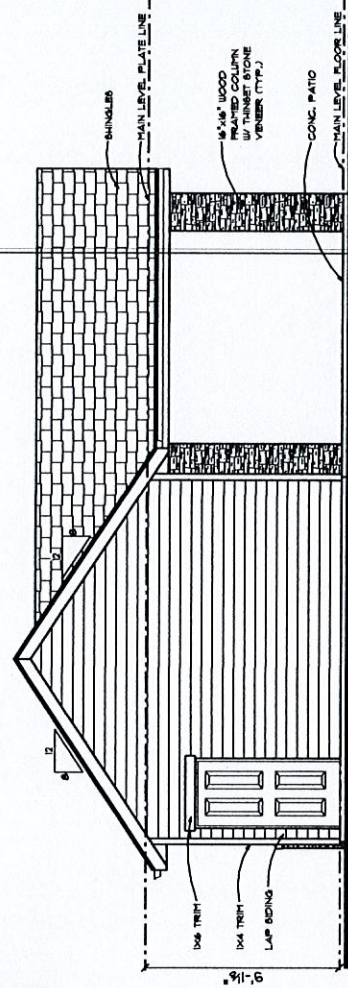
THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.

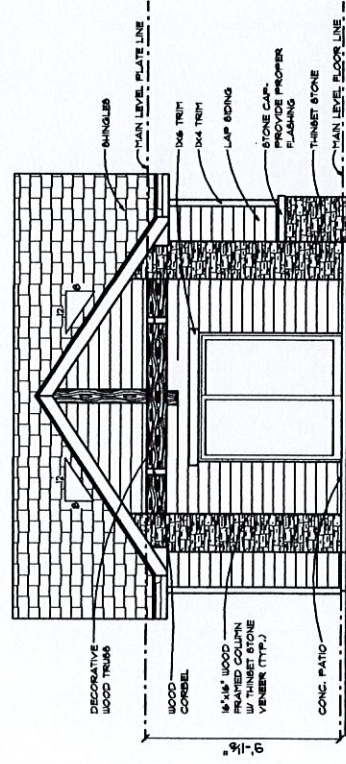

Evan White, Zoning Enforcement Officer
Town of New Fairfield



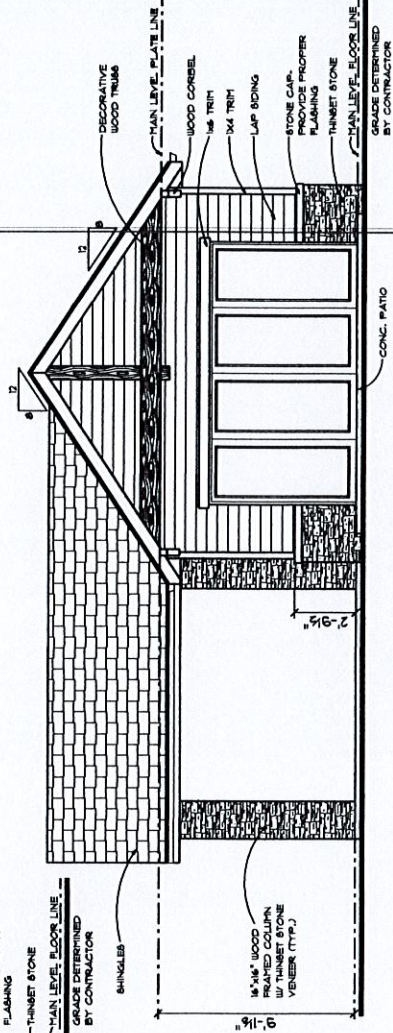
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

PROJECT	29432
DATE	10/21
REVISION	

Birchwood



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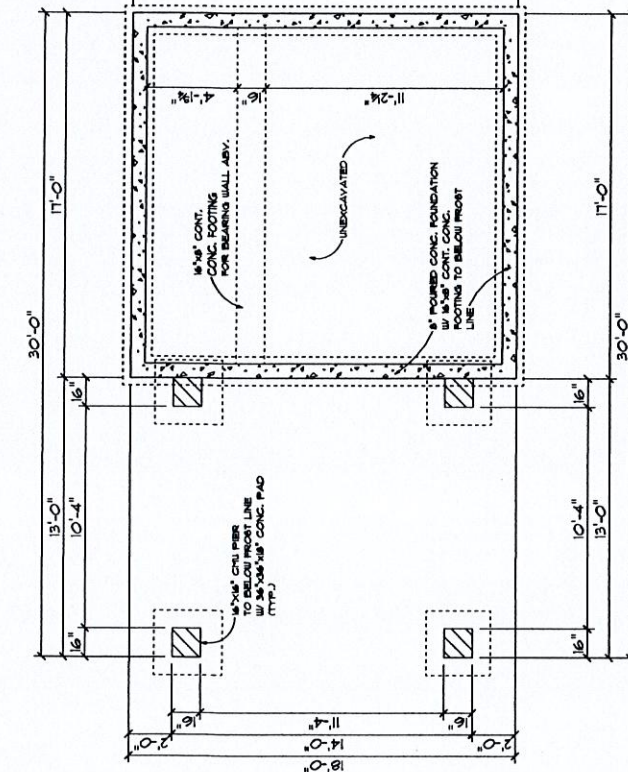
29432
10/21

SHEET
2
OF
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DOOR SCALE 3/8" = 1'-0"

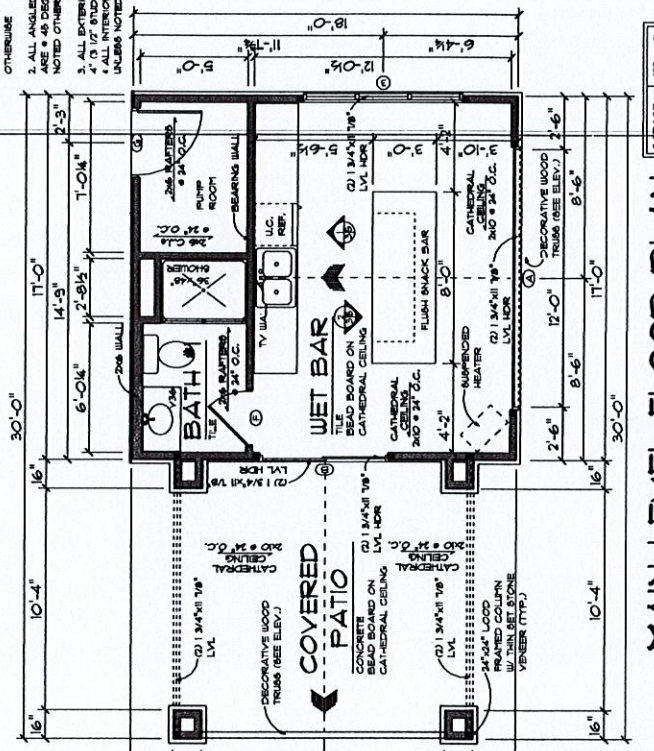
THE PURCHASER OF THESE PLANS IS GIVEN THE LIMITED LICENSE TO REPRODUCE THESE PLANS FOR CONSTRUCTION PURPOSES ONLY AND NO OTHER DISTRIBUTION IS HELD. DO NOT SCALE PRINTS - USE DIMENSIONS.
 CONTRACT: 100023

GENERAL NOTES:
 1. FOUNDATION WALLS ARE 8" TO BELOW FOOT LINE UNLESS NOTED OTHERWISE.
 2. ALL ANGGLED WALLS ARE 45 DEG UNLESS NOTED OTHERWISE.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

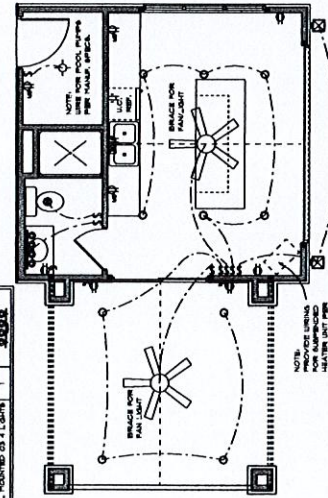
GENERAL NOTES:
 1. ALL MAIN LEVEL WALLS ARE 8" UNLESS NOTED OTHERWISE.
 2. ALL ANGGLED WALLS ARE 45 DEG UNLESS NOTED OTHERWISE.
 3. ALL EXTERIOR WALLS ARE 8" UNLESS NOTED OTHERWISE.
 4. ALL INTERIOR WALLS ARE 5 1/2" UNLESS NOTED OTHERWISE.



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

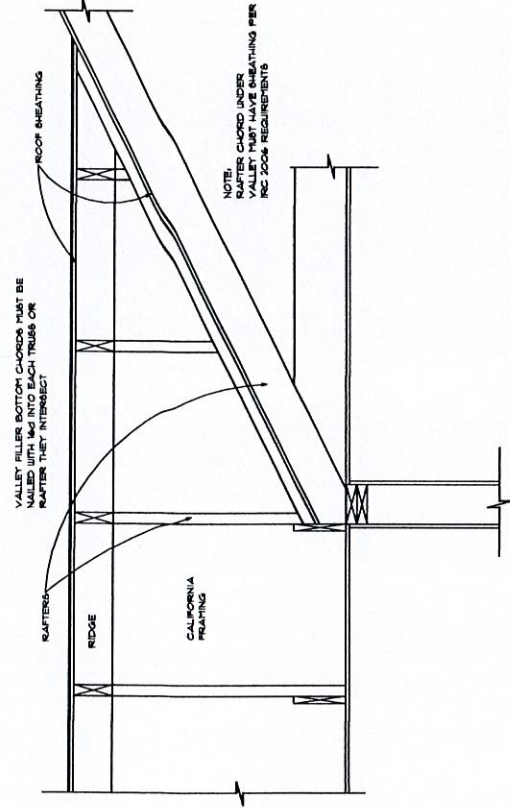
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
A	DOOR	BRAND GLASS	12'-0" x 6'-6"	1
B	DOOR	BRAND GLASS	6'-0" x 6'-6"	1
C	DOOR	BRAND GLASS	3'-0" x 6'-6"	1
D	DOOR	BRAND EXTERIOR	3'-0" x 6'-6"	1
E	DOOR	DOOR	2'-6" x 6'-6"	1

ELECTRICAL	COUNT	SYMBOL
CENTRAL FAN BLUDD ON	2	
CALL LIGHT SW	1	
EXTERIOR LIGHT SW	2	
FAN	1	
LIGHT	1	
CABLE TV OUTLET	1	
OUTLET	4	
SWITCH	4	
MULTI-POINTED CD 2 LIGHTS	1	

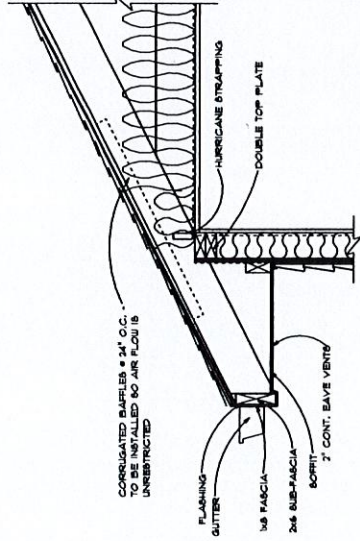


MAIN LEVEL ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

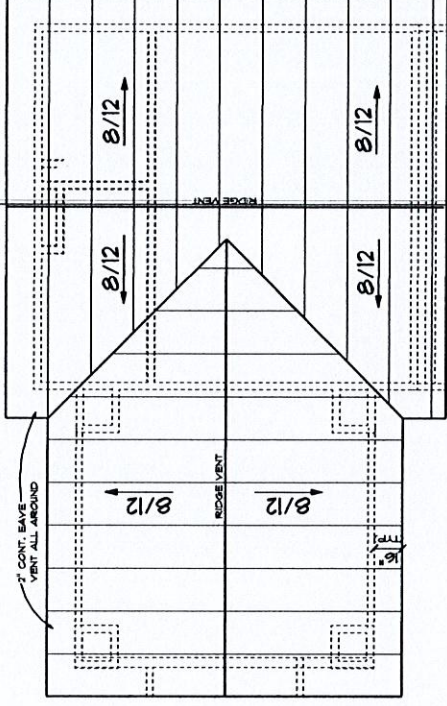
100% SCALE = 1/8" = 1'-0"



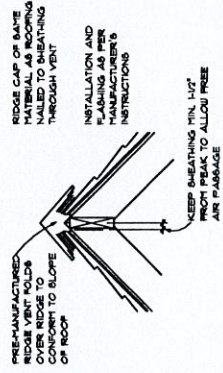
ROOF OVERFRAMING
SCALE 1/4" = 1'-0"



EAVE VENT
SCALE 1/4" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"



RIDGE VENT
SCALE 1/4" = 1'-0"

OPERATED BY: 2021

29432

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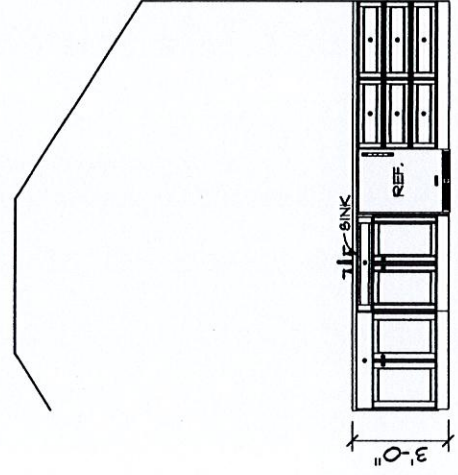
100% SCALE & 8 1/2"

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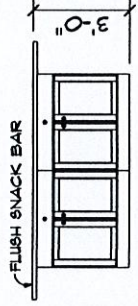
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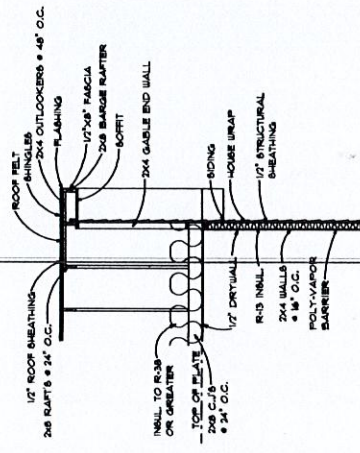
DETAIL 1



DETAIL 2

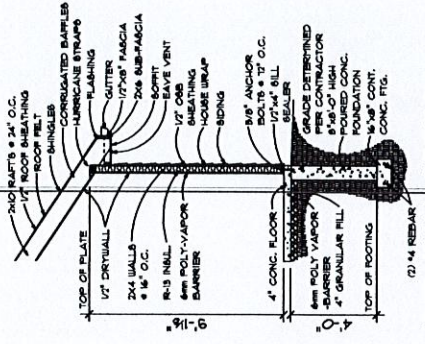
CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"



TYP. GABLE END SECTION

SCALE: 1/4" = 1'-0"



TYP. WALL SECTION

SCALE: 1/4" = 1'-0"

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5
SHEET

100% SCALE = 8'-0"

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PERMIT
DATE
REVISION

OWNERSHIP NOTES:

1. OWNERS OF RECORD: BRADFORD BANKS - VOL.528 PG.1148 OF THE N.F.L.R.

SURVEY NOTES:

1. MONUMENTATION FOUND OR SET DEPICTED HEREON.
2. REFERENCE MADE TO MAP NO. 1836 OF THE NEW FAIRFIELD LAND RECORDS.
3. SUBJECT TO EASEMENT TO THE CONNECTICUT LIGHT AND POWER COMPANY RECORDED IN VOL.133 PG.935 OF THE NEW FAIRFIELD LAND RECORDS.
4. SUBJECT TO DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED IN VOL.134 PG.294 AND VOL.248 PG.700 OF THE NEW FAIRFIELD LAND RECORDS.
5. SUBJECT TO VARIANCE GRANTED AND RECORDED IN VOL.141 PG.620 OF THE NEW FAIRFIELD LAND RECORDS.(APPEAL 16-81)
6. SUBJECT TO NOTICE OF APPROVED SPECIAL PERMIT RECORDED IN VOL.247 PG.970 OF THE NEW FAIRFIELD LAND RECORDS.(APPLICATION 94-36)
7. SUBJECT TO NOTES, NOTATIONS AND BUILDING LINED DEPICTED ON MAP NO.1836 OF THE NEW FAIRFIELD LAND RECORDS.

ZONING DATA - R-88 (SEC.3.0.2.A)		
GENERAL PROVISIONS	PERMITTED	EXISTING
a. MINIMUM LOT AREA	87,120 Sq. Ft.	88,913 Sq. Ft. 2.041 Acres
b. MINIMUM LOT FRONTAGE	175.0'	177.80'
c. MINIMUM FRONT YARD	75.0'	78.3±
d. MINIMUM SIDE YARD	35.0'	32.2±(N/2) 32.2±(S/2)
e. MINIMUM REAR YARD	60.0'	513.6±
f. MAXIMUM HEIGHT	35.0'	N/A
g. MAXIMUM BUILDING COVERAGE	SEE COVERAGE TABLE	

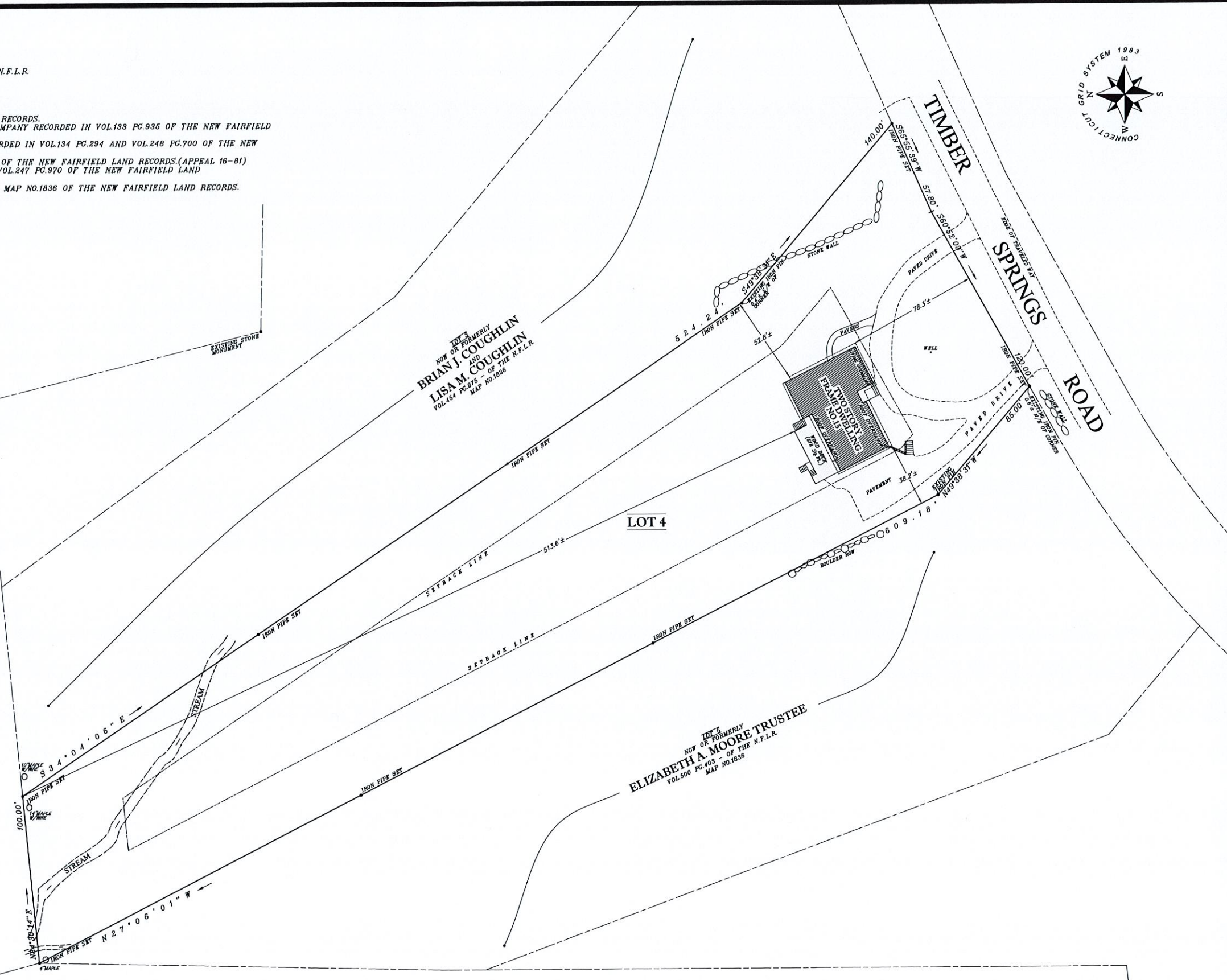
BUILDING AND COVERAGE REQUIREMENTS		
GENERAL PROVISIONS	PERMITTED	EXISTING
a. MAXIMUM BUILDING AREA	15% (13,337 Sq.Ft.)	2.7% (2,376 Sq.Ft.)
b. MAXIMUM IMPERVIOUS SURFACES	25% (22,229 Sq.Ft.)	8.6% (7,608 Sq.Ft.)

LEGEND	
	CATCH BASIN
	UTILITY POLE
	FIRE HYDRANT
	STORM MANHOLE
	SANITARY SEWER MANHOLE
	TELEPHONE MANHOLE
	UTILITY BOX (SIZE & USE VARIES)
	OVERHEAD SERVICE WIRES
	EDGE OF PAVEMENT
	CURBING (TYPE VARIES)
	WATER VALVE
	GAS VALVE
	LIGHT POLE
	WOOD FENCE
	WIRE FENCE

LOT TO
NOW OR FORMERLY
JOHN J. PAPE, JR.
AND
KATHLEEN M. PAPE
VOL.155 PG.668 - OF THE N.F.L.R.
MAP NO.2249

LOT 4
NOW OR FORMERLY
BRIAN J. COUGHLIN
AND
LISA M. COUGHLIN
VOL.461 PG.876 - OF THE N.F.L.R.
MAP NO.1836

LOT 5
NOW OR FORMERLY
ELIZABETH A. MOORE TRUSTEE
VOL.500 PG.403 - OF THE N.F.L.R.
MAP NO.1836



15' 0 75' 150'

AREA: 2.041 Acres
ZONE: R-88
SCALE: 1"=30'
DATE: OCTOBER 12, 2018
REVISED:
DWG NAME: 18301-ILS
DRAWN BY: Z.S.R.
CHECKED BY: S.A.R.J.R.
Sydney A. Rapp Land Surveying, P.C.
30 Lindenwood Drive, Danbury, Connecticut 06811
map@sydneyrapp.com Phone: (203)744-9200

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
BRADFORD BANKS
DEPICTING PROPERTY SITUATED AT 8 TIMBER SPRINGS ROAD
TOWN OF NEW FAIRFIELD, STATE OF CONNECTICUT
TAX ASSESSOR MAP 27 - BLOCK 2 - LOT 14

IMPORTANT
LOCATION OF UNDERGROUND UTILITIES DEPICTED HEREON ARE APPROXIMATE. NO WARRANTY NOW OR HEREAFTER IS MADE PRIOR TO ANY CONSTRUCTION OR EXCAVATION CONTACT.
CALL BEFORE YOU DIG 811 or 1(800)922-4455

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT. THIS SURVEY IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY ON SEPTEMBER 24, 1986. IT IS CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
ZACHARY S. RAPP, PLS. LICENSE NO. 73439
NOT VALID WITHOUT P.L.S. SIGNATURE AND EMBOSSED SEAL OF ZACHARY S. RAPP
OF 06-820

PRELIM
FINAL
11/23/21
REVISION

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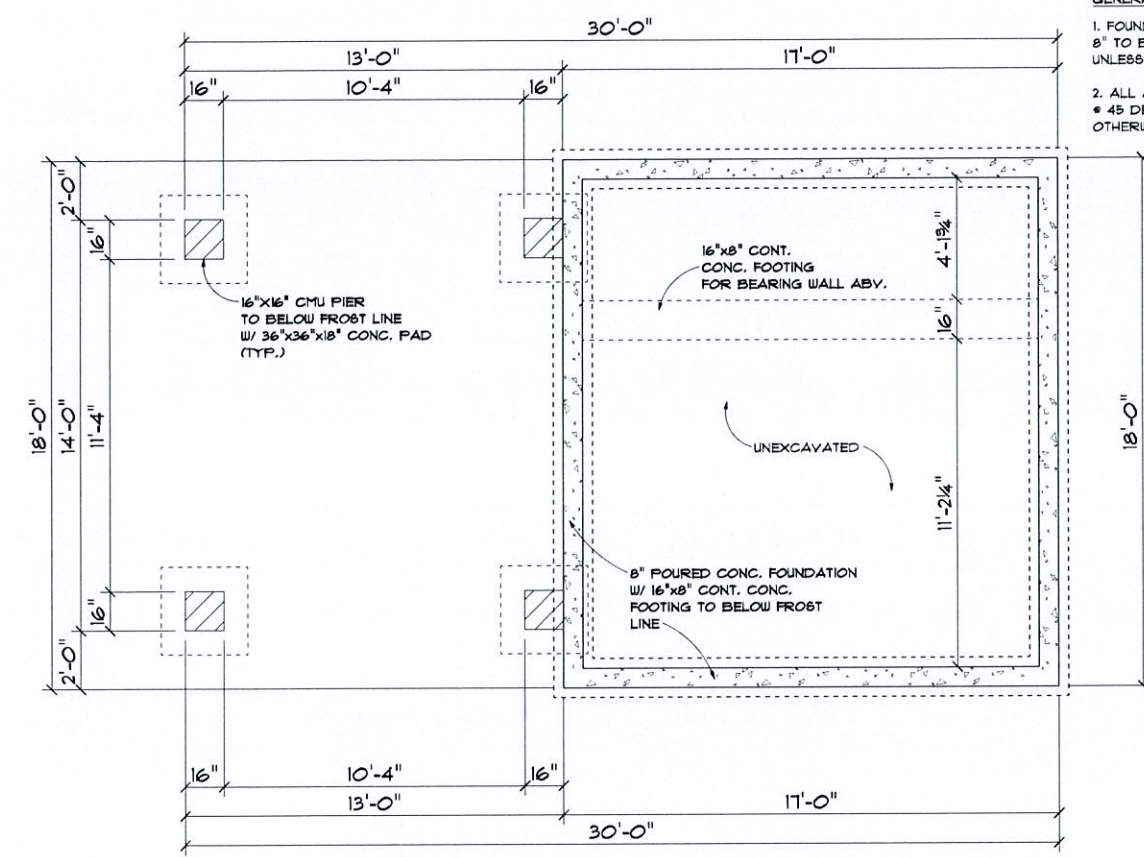
ADVANCED HOUSE PLANS IS AN INTERNET-BASED, ELECTRONIC SERVICE PROVIDING ARCHITECTURAL PLANS TO HOMEOWNERS AND PROFESSIONALS. OUR PLANS ARE PROVIDED AS A SERVICE AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ASSISTANCE OF A PROFESSIONAL ARCHITECT. ADVANCED HOUSE PLANS ASSUMES NO LIABILITY FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF OUR PLANS. HOMEOWNERS MUST OBTAIN ALL NECESSARY PERMITS AND FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES. ADVANCED HOUSE PLANS IS NOT A CONTRACTOR AND DOES NOT PROVIDE CONSTRUCTION SERVICES.

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SHEET
3
OF
5

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- GENERAL NOTES:**
- FOUNDATION WALL ARE 8" TO BELOW FROST LINE UNLESS NOTED OTHERWISE.
 - ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE.

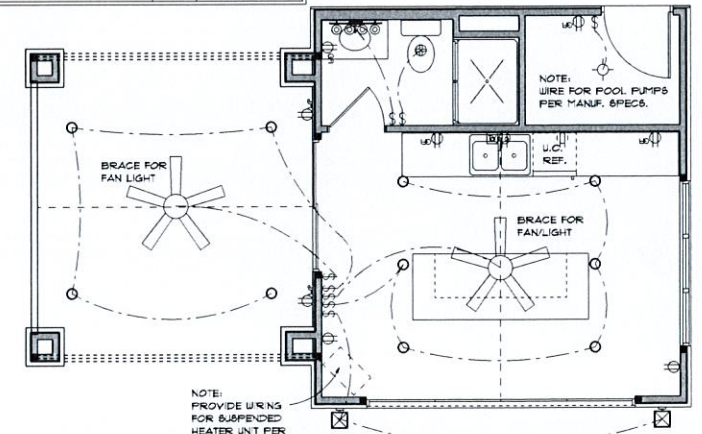


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
- ALL MAIN LEVEL WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
 - ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD+1/2" SHEATHING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE

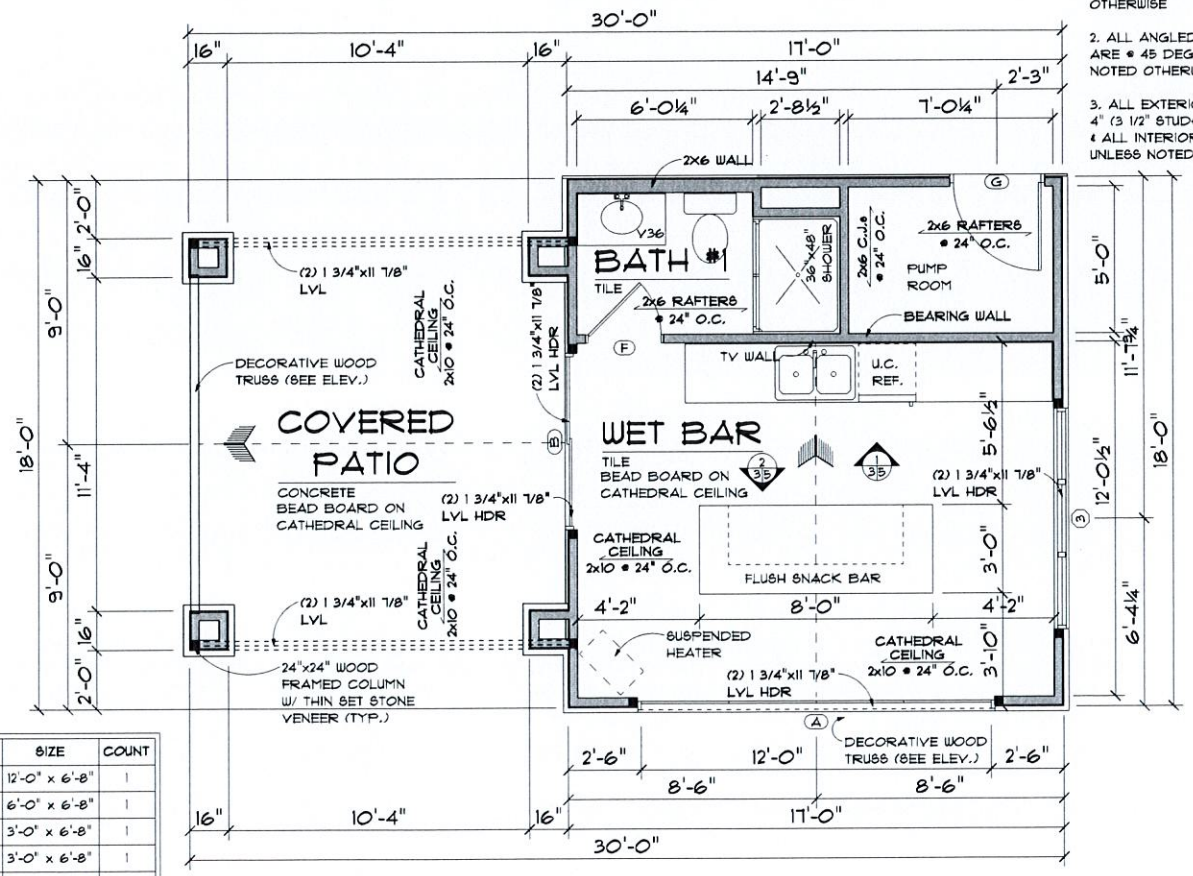
ELECTRICAL	COUNT	SYMBOL
CEILING FAN BLADED G4	2	
CAN LIGHT 6IN	10	
EXTERIOR LIGHT G3	2	
FAN	1	
LIGHT	1	
CABLE TV OUTLET	1	
OUTLET	4	
OUTLET GF	4	
SWITCH	8	
WALL MOUNTED G3 4 LIGHTS	1	



MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
A	DOOR	144X80 GLASS	12'-0" x 6'-8"	1
B	DOOR	12X80 GLASS	6'-0" x 6'-8"	1
C	DOOR	36X80 GLASS I	3'-0" x 6'-8"	1
D	DOOR	36X80 EXTERIOR	3'-0" x 6'-8"	1
E	DOOR	30X80 I	2'-6" x 6'-8"	1

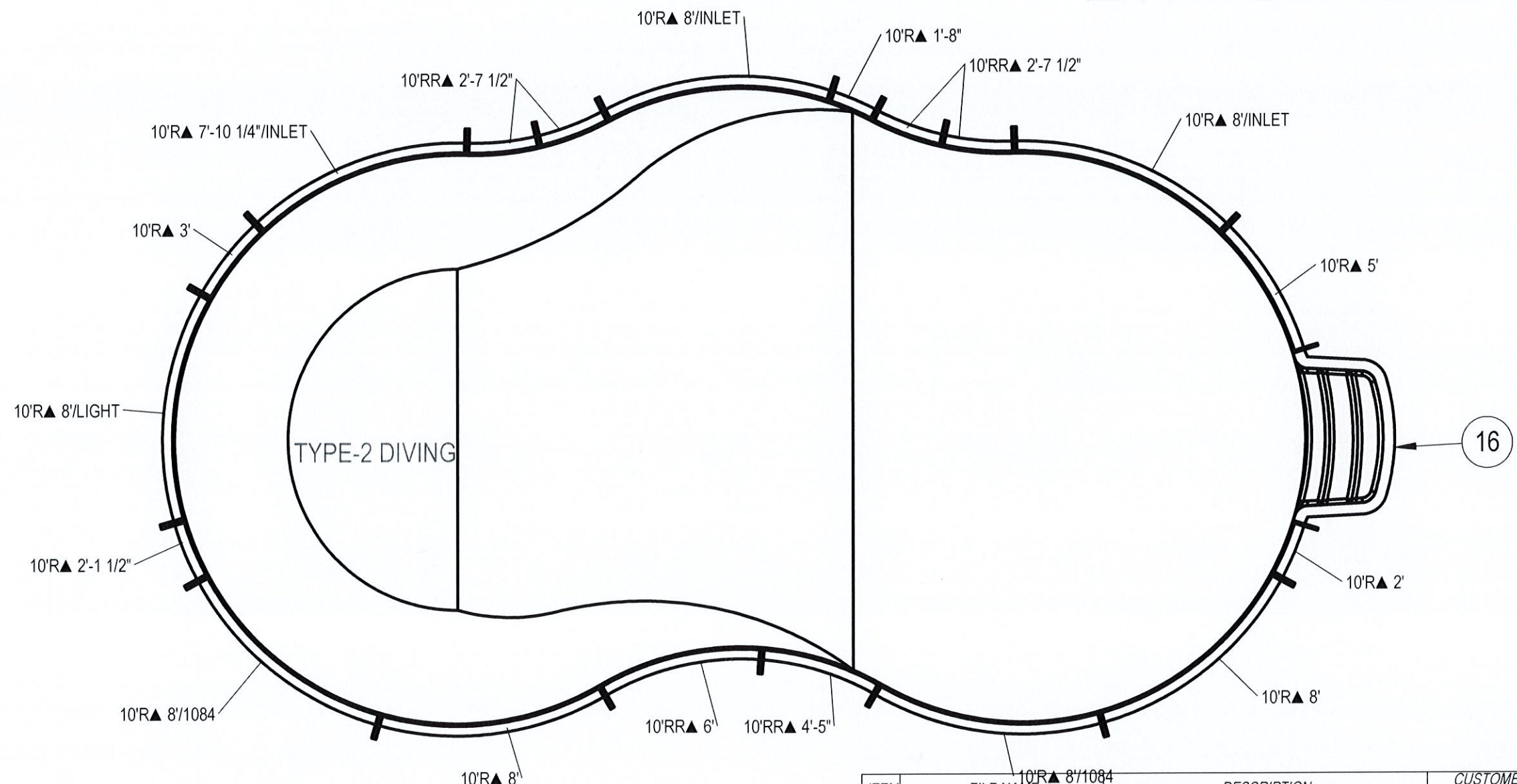


MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

GARAGE	182 sq ft.
COV PATIO	430 sq ft.

REVISION HISTORY				
REV.	DESCRIPTION	DATE	ECO	BY



NOTES:

1. THESE ARE FINISHED DIMENSIONS READY FOR THE LINER.
2. DIMENSIONS ARE FROM INSIDE POOL PANELS.
3. ROPE AND FLOAT ASSEMBLY SHOULD BE INSTALLED IN ACCORDANCE WITH CURRENT ANSI/ASPS/ICC REGULATIONS
4. HYDRA LINER TRACK FOR STEPS IS INSTALLED WITH THE BARB FACING THE RISER WALL ON THE STEP.

EXCAVATION NOTES:

5. ROUGH EXCAVATION SHOULD BE 2" DEEPER IN EACH INSTANCE.
6. SOIL TO HAVE MINIMUM BEARING CAPACITY OF 1500 PSF.
7. LOCATE TOP OF POOL AT LEAST 6" ABOVE THE SURROUNDING LAND ELEVATION.
8. SEE "OVER DIG DETAIL" FOR EXCAVATION AROUND POOL.
9. FILL VOIDS UNDER BASE OF PANELS AND TAMP WELL.
10. BACK FILL WITH NON-EXPANSIVE MATERIAL.
11. FOLLOW ALL CURRENT ANSI / APSP / ICC GUIDELINES FOR RESIDENTIAL POOLS

IMPORTANT NOTES:

THIS DOCUMENT IS FOR ILLUSTRATIVE PURPOSES ONLY. THE DEALER OR CONTRACTOR WHO SELLS OR INSTALLS YOUR POOL IS AN INDEPENDENT CONTRACTOR AND IS NOT AN AGENT OF THE MANUFACTURER. THE CONSTRUCTION METHODS ILLUSTRATED HERE ARE SUGGESTIONS AND APPLY ONLY TO NORMAL GROUND CONDITIONS. THERE MAY BE ADDITIONAL PRECAUTIONS AND/OR METHODS OF CONSTRUCTION. PROPER INSTALLATION IS THE RESPONSIBILITY OF THE DEALER/BUILDER/CONTRACTOR.

ITEM	FILE NAME	DESCRIPTION	CUSTOMER DRAWING #	VENDOR PART #	QTY.
1		BOLT, PACK	HPS1916	HPS1916	5
2		SBRACE	HPSFOB	HPSFOB	20
3		PANEL, RADIUS	HPSCR2	00008149	1
4		PANEL, RADIUS	HPS10R2	00002055	1
5		PANEL, RADIUS	HPSCR3	00006559	1
6		PANEL, RADIUS	HPS10R3	00002098	1
7		PANEL, RADIUS	HPSD10R5	00000707	1
8		PANEL, RADIUS	HPSCR8	00013572	1
9		PANEL, RADIUS	HPSD10R884	00000241	2
10		PANEL, RADIUS	HPSD10R8	00000999	2
11		PANEL, RADIUS	HPS10R8I	00002082	2
12		PANEL, RADIUS	HPSD10R8L	00001014	1
13		PANEL, RR	HPSCR3	00006134	4
14		PANEL, RR	HPSCR5	00006648	1
15		PANEL, RR	HPSD10RR6	00001015	1
16	HS303N	STEP, 9' RADIUS, 3 TREAD, CANTILEVER	HS303N	HS303N	1

ENGINEERING DRAWING NUMBER: 00017206	WEIGHT: lbs	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES DECIMALS: X ± .1 XX ± .01 XXX ± .001 XXXX ± .0005 ANGULAR: X ± 0.5 THIRD ANGLE PROJECTION 	DESIGNED BY: BUMPHREY	CREATION DATE: 3/20/2013	HYDRA POOLS TITLE: LAYOUT, 20' X 40', LAGOON, LEFT, 8' DEEP, HS311N, LIGHT, 2-1084, 3-INLET, 600 SERIES' PART NUMBER: <div style="font-size: 2em; font-weight: bold; text-align: center;">00017206</div>
	VOLUME: Inch ³		DETAILED BY: BUMPHREY	DETAILED DATE: 1/11/2018	
	COLOR: NA		LAST REVISED BY: bumphrey	LAST REVISED DATE: 1/15/2018	
	HEAT TREAT: NA		MATERIAL:		
FINISH: NA					SCALE: 1:128
TEXTURE: NA					SHEET: 1 OF 5
					A

MIRROR NUMBER: 00009500
 MADE FROM: 00009500
 CHECK IN DATE/TIME: Monday, January 15, 2018 11:47:41 AM