

APPLICATION OR APEAL#: 09-22

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

1) Applicant: Joe Coelho JC Contracting
Mailing Address: 1 Stonebridge Trail Sandy Hook CT 06482
Phone#: (203) 948-4748
Email: JC Contracting 1 @ Charter.net

2) Premises located at: 11 Knolls Rd. on the (N S E W) side of the street
at approx. _____ feet (N S E W) from Candlewood Knolls rd. (nearest intersecting road).

3) Property Owner Name: Vincent Schiro
Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 40 Block No.: 3 Lot No.: 17-19

5) Zone in which property is located: R-44 Area of Lot: 7,532 Sq FT

6) Dimensions of Lot: Frontage: 100' Average Depth: 75'

7) Do you have any Right of Ways or Easements on the property? No

8) Is the property within 500 feet of Danbury, Sherman or New York State? No

9) Have any previous applications been filed with ZBA on this property? Yes "For open Deck"

If so, give dates and application numbers: Nov 19-2020 # 43-20

10) Proposal for which variance is requested: To Install a approx 12x19' Bump out addition for Relocating 1 Bedroom - open covered entry in Front 4' Deep

Hardship: Non Conforming Lot House on Hill sits lower from Rd.

11) Date of Zoning Commission Denial: February 22, 2022

12) Variance(s) Requested: () USE (x) DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: 24'4" "No Change" Rear to: 46'
Left Side to: 19'6" Side to: Right "No Change"

13) Use to be made of property if variance is granted: Single family use

#3

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

SIGNATURE OF OWNER OR AGENT: Joe Coelho DATE: 2-4-22

Received 2-8-22

**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE

FROM: Evan G. White, Zoning Enforcement Officer

DATE: February 22, 2022

PROPERTY OWNER: Vincent Schiro

PROPERTY ADDRESS: 11 Knolls Road

APPLICANT/AGENT: Joe Coelho

MAILING ADDRESS: 11 Knolls Road

ZONING DISTRICT: R-44 **MAP:** 40 **BLOCK:** 6 **LOT:** 8

Please be advised that the applicant would like to (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.2.5-Minimum Lot Area and Frontage (A+B)

3.2.6-Minimum Building & Structure Setbacks (A+B+C)

3.2.8-Maximum Impervious Surfaces

3.2.11-Minimum Lot Dimensions


7.1.12-Improved Lots Not in a Validated or Approved Subdivision

7.2.3-Nonconforming Use of Building or Structure; Nonconforming Building or Structures (A+B)

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

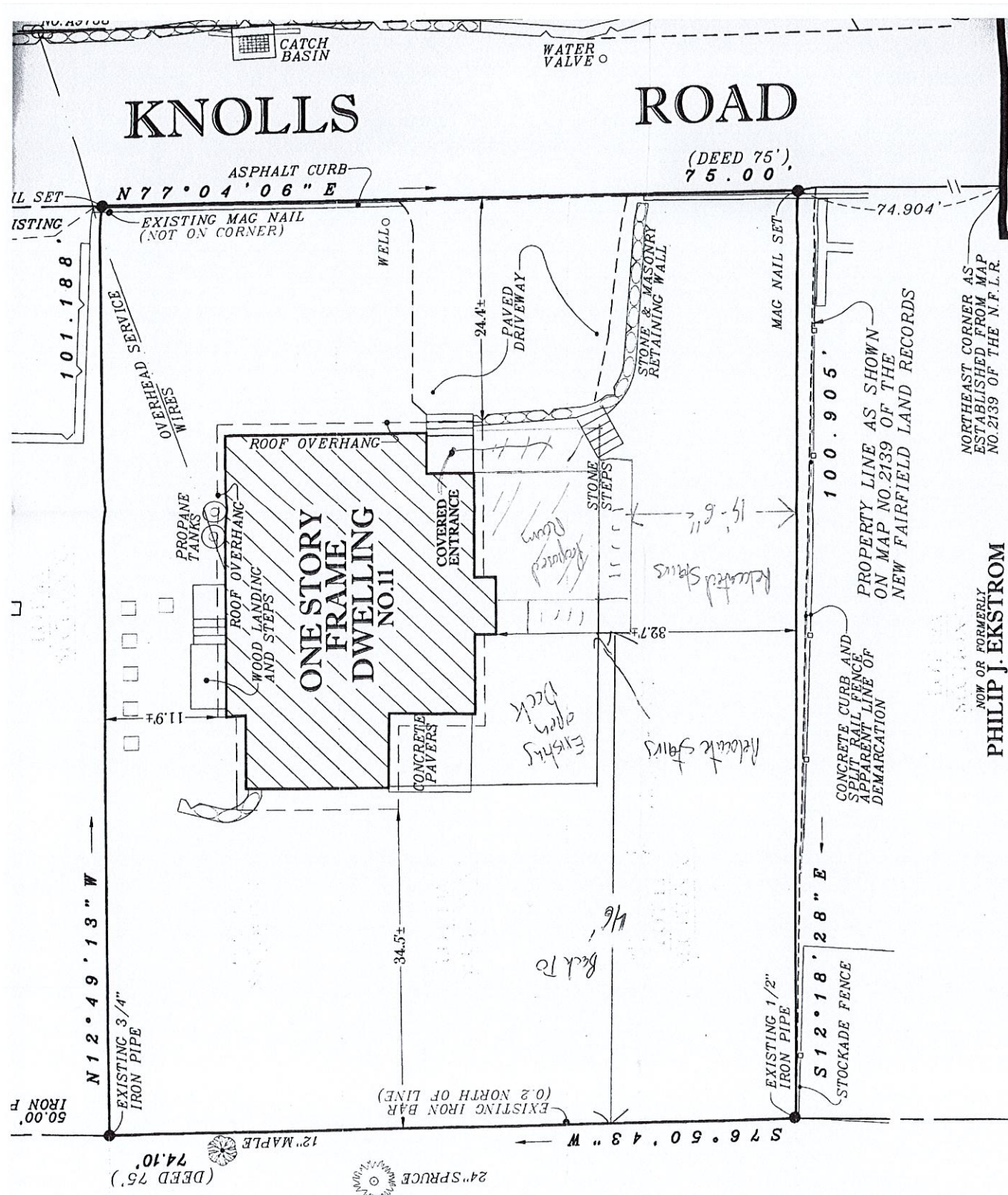
IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.



Evan White, Zoning Enforcement Officer
Town of New Fairfield

KNOLLS

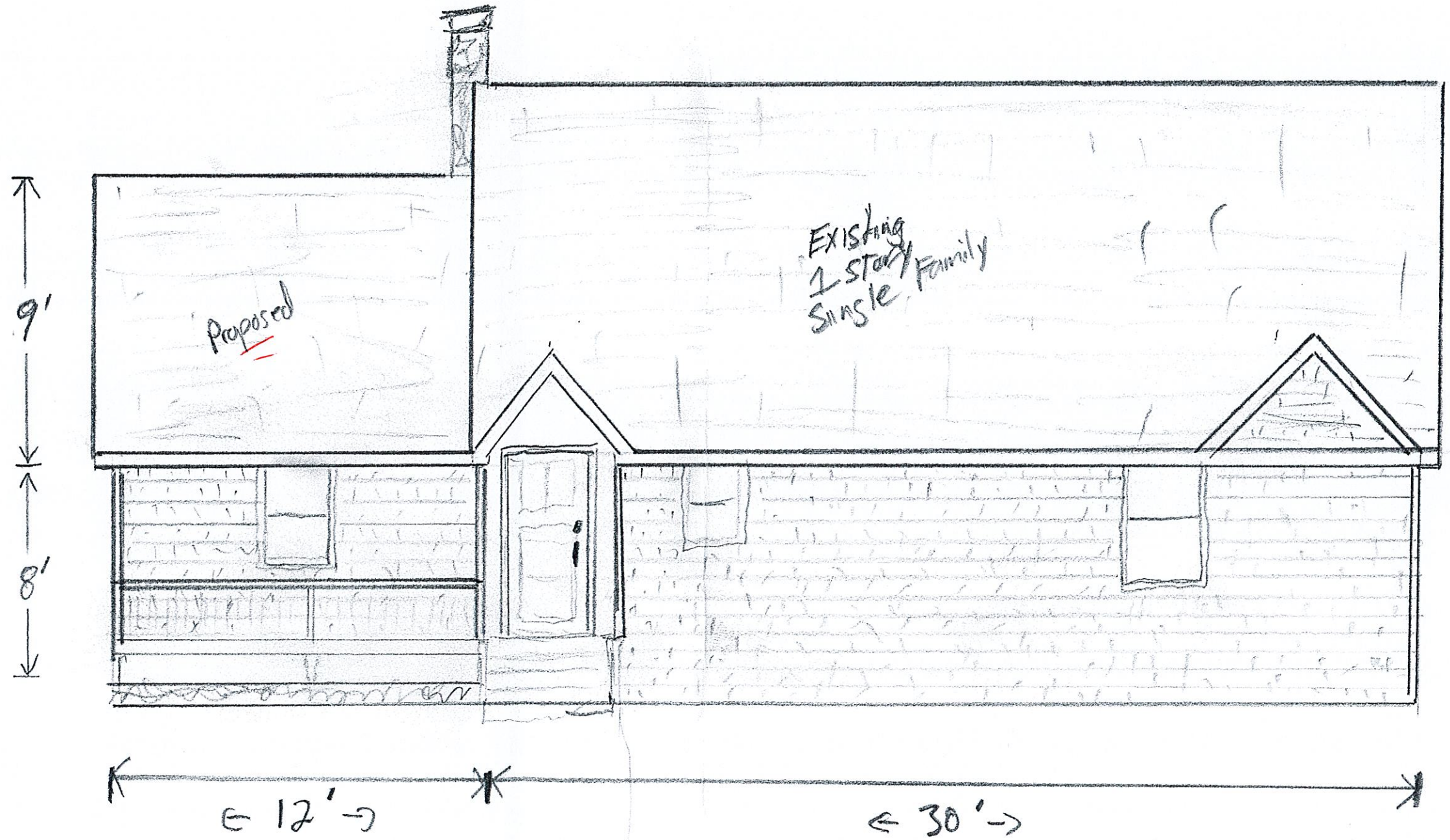
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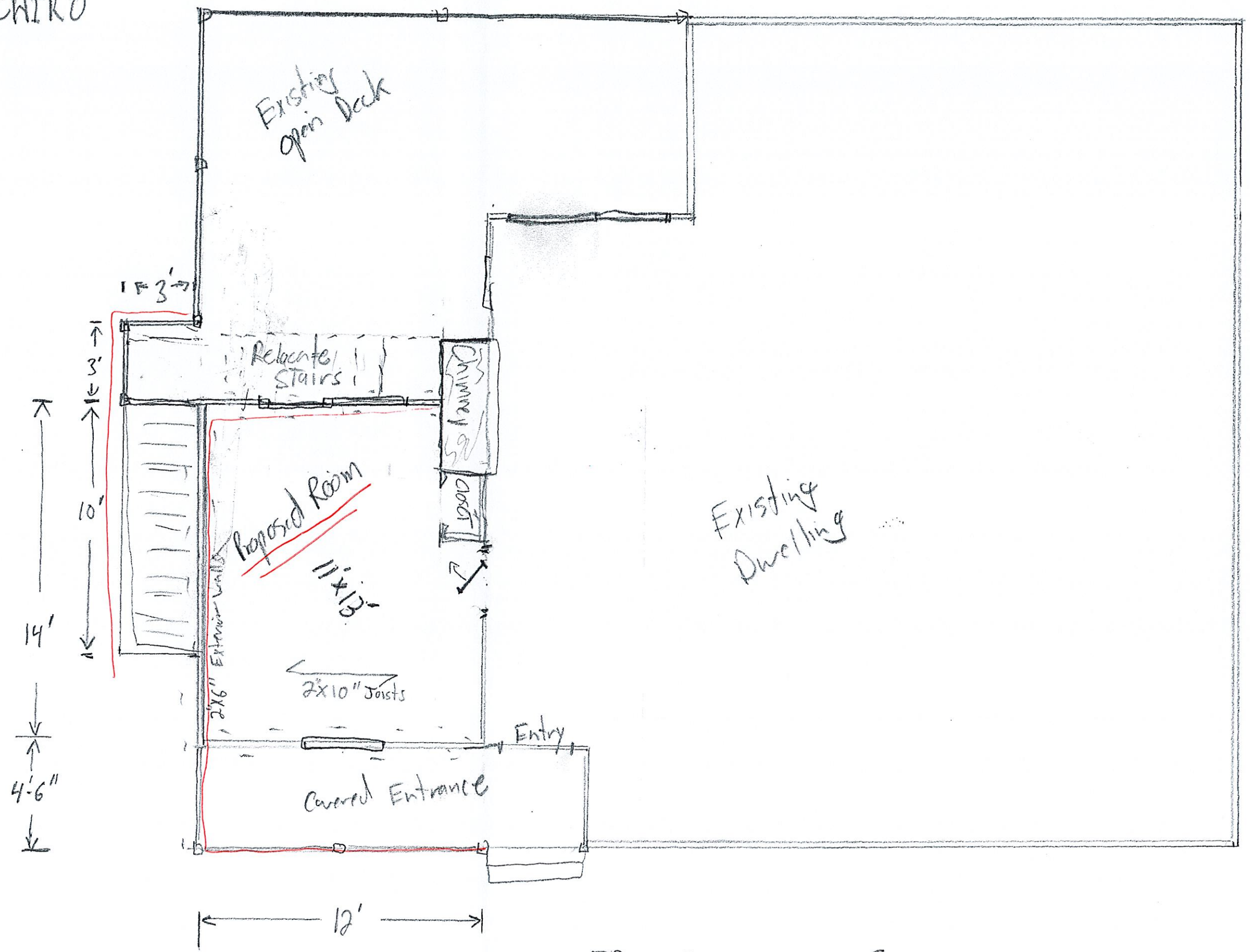
NOW OR FORMERLY
EDWARD J. MITCHELL
 AND
JEAN M. McQUILLAN
 VOL. 322 PG. 477 - OF THE N.F.L.R.

NOW OR FORMERLY
RUTH J. JACKSON
 AND
GLADYS E. PASSARO
 VOL. 376 PG. 1196 & VOL. 246 PG. 886 - OF THE N.F.L.R.

11 KNOLLS RD
SCHIRO VINCENT



11 KNOLLS RD
SCHIRO



FRONT

SCALE $\frac{1}{4}'' = 1'-0''$

11 KROLLS RD
SCHIRO

Exterior

- 1) 2x6" 16" o/c Framing
- 2) 2-2x10 Headers with Jack studs at Window & Doors
- 3) 1/2" Zip Board Taped Seams "Shell"
- 4) 2x10" 16" o/c Rafter's with 1 7/8" x 12" LVL Ridge
- 5) New GAF Roof Asphalt
- 6) New Vinyl Siding to match

Interior

- 1) 2x4" 16" o/c Framing
- 2) R-21 Insulation Exterior walls
- 3) R-40 Insulation Rafter's/Ceiling's
- 4) 1/2" Drywall - Casings
- 5) New 3/4" Hardwood floor. Trims

