

APPLICATION OR APEAL#: 07-22

APPLICATION TO NEW FAIRFIELD ZONING BOARD OF APPEALS

Please check appropriate box(es) Variance Appeal of Cease & Desist

1) Applicant: Solimine Contracting
Mailing Address: 21 Robinhood Rd.
Danbury CT 06811 Phone#: 203-778-9385
Email: sales @ soliminecontracting . com

2) Premises located at: 56 Inglenook Rd. B on the (N S E W) side of the street
at approx. 3/4 mile feet (N S E W) from Rt. 39 (nearest intersecting road).

3) Property Owner Name: Gjon + Oricta Gjelij
Interest in Property: OWNER CONTRACT PURCHASER LEASEE AGENT

4) Tax Assessor Map No.: 41 Block No.: 123-28 Lot No.: 23-28 50-55

5) Zone in which property is located: R-44 Area of Lot: 15,094 ± / 0.348 ac

6) Dimensions of Lot: Frontage: 150 Average Depth: 100

7) Do you have any Right of Ways or Easements on the property? NO

8) Is the property within 500 feet of Danbury, Sherman or New York State? NO

9) Have any previous applications been filed with ZBA on this property? NO

If so, give dates and application numbers: _____

10) Proposal for which variance is requested: rear addition 32'9" x 9'5 1/2" to increase kitchen & living space, front addition 3'4 1/2" x 11'2" to increase living space & 14'6" x 10'9" to increase Garage space

Hardship: Existing Property is existing non-conforming lot & shallow with significant ledge
Nothing can be done without a Variance approval

11) Date of Zoning Commission Denial: February 22, 2022

12) Variance(s) Requested: () USE (X) DIMENSIONAL

Zoning Regulations (sections): See attached Non-Compliance Letter

Setbacks Requested: Front to: 26'9" Rear to: 34'8"
Side to: 52'8" Side to: 43'1"

13) Use to be made of property if variance is granted: residential

14) If this Application relates to a Cease and Desist Order then this application must be made within 30 Days of the issue date of that Cease and Desist Order. CEASE & DESIST ORDER DATE: _____

SIGNATURE OF OWNER OR AGENT: [Signature] DATE: 2/4/22



**TOWN OF NEW FAIRFIELD
ZONING REPORT**

SUBJECT: VERIFICATION OF NON-COMPLIANCE

FROM: Evan G. White, Zoning Enforcement Officer

DATE: February 22, 2022

PROPERTY OWNER: Gjon & Orieta Gjelij

PROPERTY ADDRESS: 56 Inglenook Road B

APPLICANT/AGENT: Solimine Contracting

MAILING ADDRESS: 21 Robinhood Road, Danbury CT, 06811

ZONING DISTRICT: R-44 **MAP:** 41 **BLOCK:** 1 **LOT:** 23

Please be advised that the applicant would like to (See Application for Description).

Review of the New Fairfield Zoning Regulations indicated that the above proposal fails to meet the following Zoning Requirements:

Sections:

3.2.5-Minimum Lot Area & Frontage (A+B)

3.2.6-Minimum Building & Structure Setbacks (A+B)

3.2.8-Maximum Impervious Surface

3.2.11-Minimum Lot Dimensions

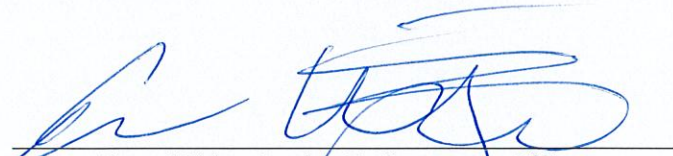
7.1.12-Improved Lots Not In a Validated or Approved Subdivision

7.2.3-Nonconforming Use of Building or Structure; Nonconforming Buildings or Structures (A+B+E)

THE INFORMATION ON THIS REPORT IS TO GUIDE THE APPLICANT/PETITIONER AND THE ZONING BOARD OF APPEALS TO APPLY FOR VARIANCES AND/OR OTHER RELIEF, AND IS BASED ON REPRESENTATIONS MADE BY THE PROPERTY OWNER/APPLICANT.

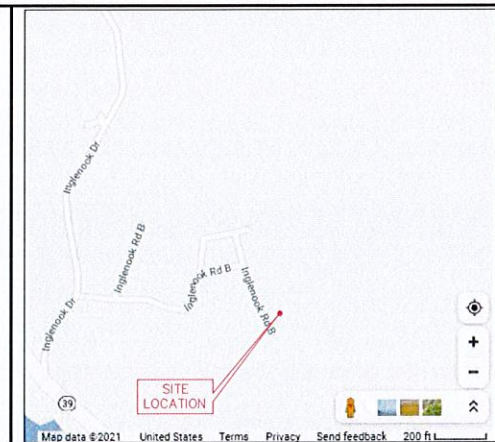
THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ANY DECISION MADE FROM RELIANCE ON THIS FORM AND IT SHALL NOT CREATE LIABILITY ON THE PART OF ANY OFFICER OR THE TOWN OF NEW FAIRFIELD.

IN COMPLEX MATTERS, THE OWNER/APPLICANT MAY WISH TO SECURE THE SERVICES OF AN ATTORNEY.


Evan White, Zoning Enforcement Officer
Town of New Fairfield

STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS BUILT CONDITIONS
Minimum Lot Area	1 Ac / 43560 SF	0.346Ac / 15094±	0.346Ac / 15094±	
Minimum Road Frontage	125'	149.20'	149.20'	
Minimum Lot Width	N/A	N/A	N/A	
Minimum Bulbule Lot Area	N/A	N/A	N/A	
Minimum Setback From Street Line	40'	33.5'	26.9'	
Min. Setback From Street Line Corner Lot	40'	N/A	N/A	
Min. Setback From One Side Property Line	20'	44.3' / 55.0'	43.1' / 52.8'	
Minimum Setback From Side Property Lines	N/A	N/A	N/A	
Minimum Setback From Rear Property Line	50'	31.6'	34.6'	
Maximum Height for a Building or Structure	35'	18'±	18'±	
Maximum Building Coverage as a Percentage of Lot Area	20%	8.5%	10.4%	
Maximum Impervious Surfaces	25%	19.3%	19.35%	

BUILDING ZONE: R-44 1 Ac.
ASSESSOR'S MAP & PARCEL NO # 41/1/23-28



LOCATION MAP

NOT TO SCALE

SURVEY NOTES

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300a-1 through 20-300a-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist.
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping, supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

MAP REFERENCES

- RECORD MAP NO # 216.

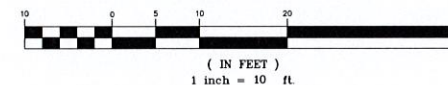
PROPERTY SUBJECT TO:

- TOGETHER WITH ALL RIGHTS CONCERNING INGLENOOK AS SET FORTH IN VOL. 29 AT PAGE 214 & VOL. 47 AT PAGE 574.
- EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE NEW FAIRFIELD LAND RECORDS.

**IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES**

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure. The Undergound structures depicted hereon are for informational purpose only. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document. Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.

GRAPHIC SCALE

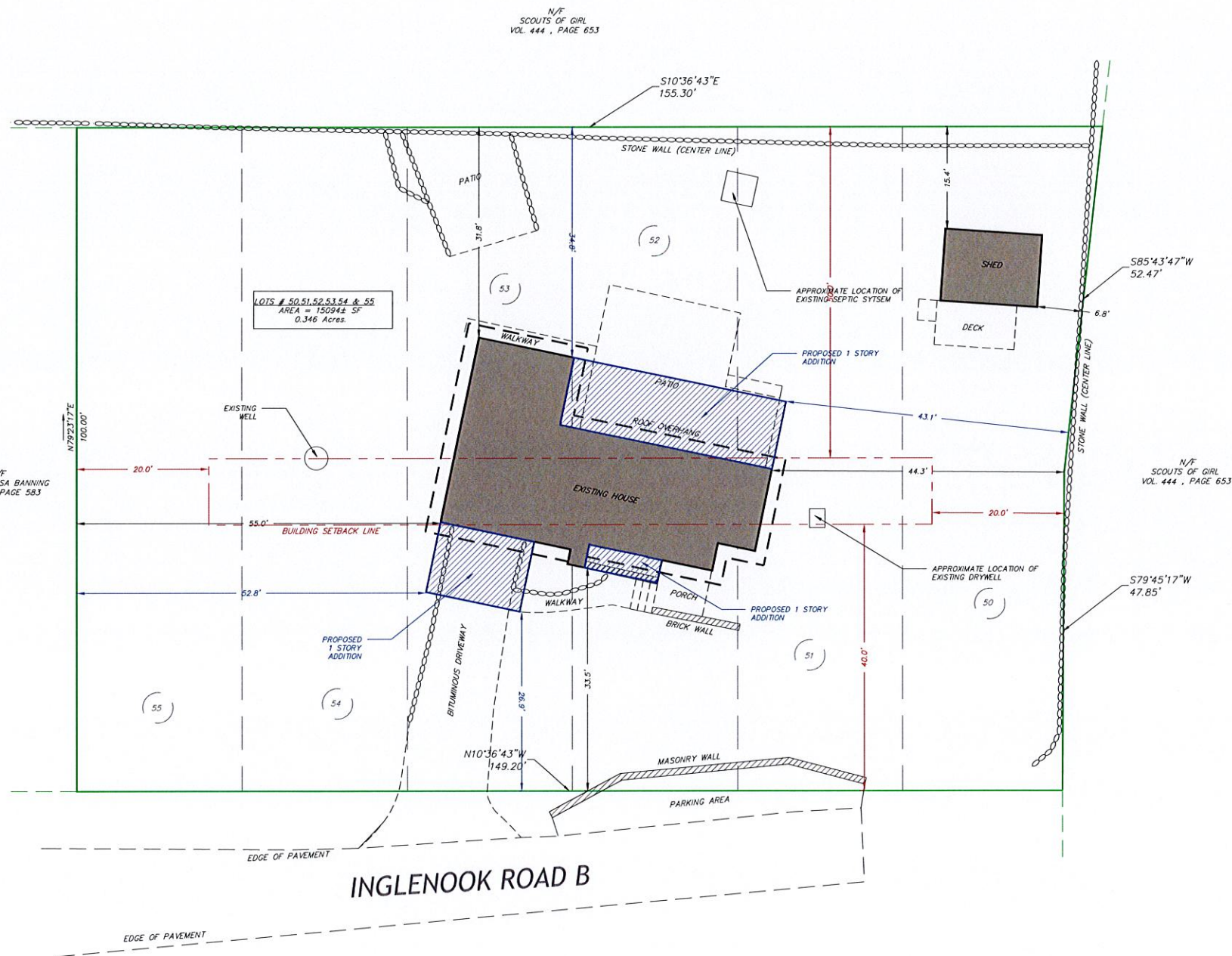


NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

J. S. S. S.

JONES & SONS, P.L.S. 70386



PREPARED FOR GJON G. GJELAJ 56 INGLENOOK ROAD B, NEW FAIRFIELD, CT		
OWNER GJON G. GJELAJ 56 INGLENOOK ROAD B, NEW FAIRFIELD, CT		
NO.	PROPOSED ADDITION DATE DESCRIPTION	
1	12/16/2021	

CT LAND SURVEYING, LLC
SBE | MBE CERTIFIED
LAND SURVEYING | LAND PLANNING

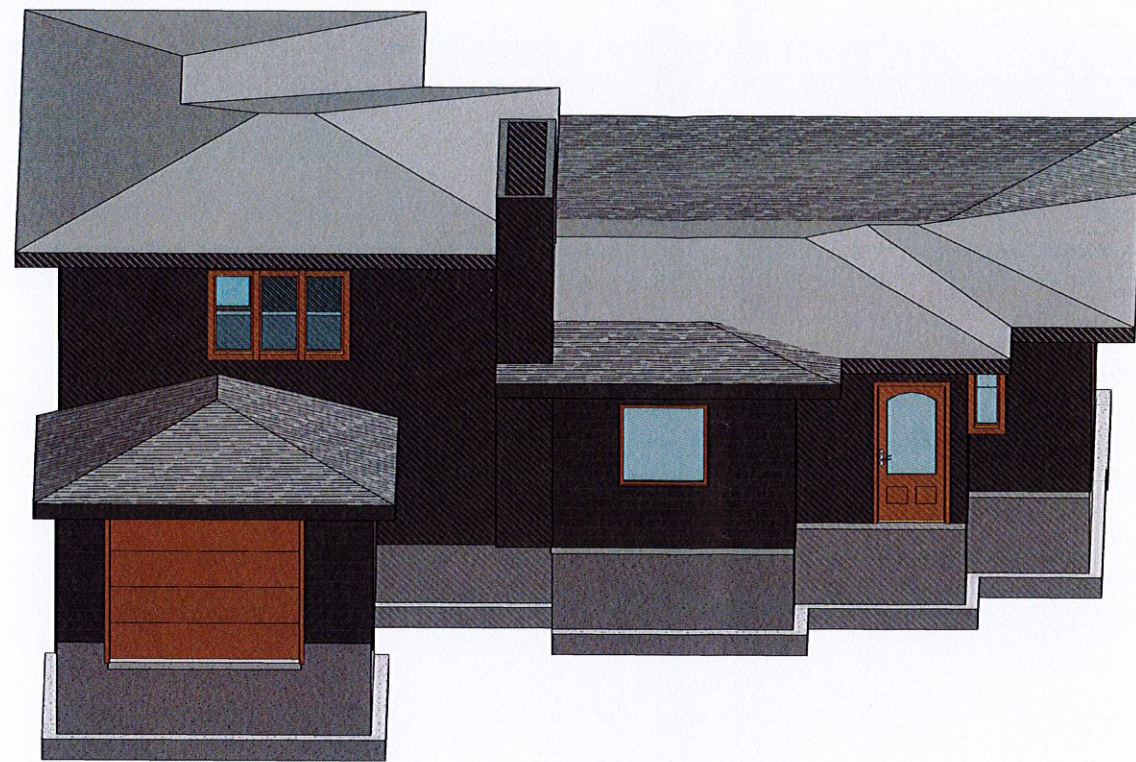
CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P: (203) 503-1193
FAX: (203) 404-0411
EMAIL: JSONI2@YAHOO.COM

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
GJON G. GJELAJ
56 INGLENOOK ROAD B,
NEW FAIRFIELD, CONNECTICUT

DRAFTED:	CAD
APPROVED:	J.S.
SCALE:	1" = 10'
PROJECT NO.:	211004
DATE:	10/27/2021
CAD FILE:	211004

**IMPROVEMENT
LOCATION SURVEY**

SHEET NUMBER:
EX-1 OF 1


















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 ARCHITECT
 SOUTHWINGTON, CT 06489
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 860-922-2269

ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
 NEW FAIRFIELD CONNECTICUT

ADDITIONS AND RENOVATIONS TO:
 56 INGLENOOK ROAD NEW FAIRFIELD, CT

Sheet List	
CS	COVER SHEET
G1.0	GENERAL NOTES
3D	3D VIEWS
A1.0	EXISTING & DEMO PLANS
A1.1	PROPOSED PLANS
A2.0	ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS

-  EXISTING WALL
-  WALL TO BE DEMOLISHED
-  NEW STUD FRAMED WALL
-  NEW CMU WALL
-  NEW FOUNDATION WALL
- ROOM NAME**
 ROOM NAME/ ROOM NUMBER
-  SECTION MARKER
-  ELEVATION MARKER
-  DOOR IDENTIFICATION
-  WINDOW IDENTIFICATION
-  WALL IDENTIFICATION
-  COLUMN IDENTIFICATION
-  ELEVATION MARKER
-  EXISTING DOOR
-  NEW DOOR

Sheet Description:
COVER SHEET

Issue Dates:
 PERMIT SET
 01/27/2022

Scale:
1/4" = 1'-0"

Sheet #:
CS

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860-922-2269

Thermal & Moisture Protection

1. PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
A. EXTERIOR WALLS: R-21 MINIMUM
B. SLOPED CEILINGS: R-49 MINIMUM
C. FLAT CEILINGS: R-49 MINIMUM
D. CEILINGS OVER UNCONDITIONED SPACE: R-30 MINIMUM
E. CEILINGS OVER BASEMENT: R-30 MINIMUM
2. INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
3. DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
4. INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.
5. CONTRACTOR SHALL PROVIDE A BLOWER DOOR TEST ONCE THE BUILDING ENVELOPE IS SEALED OR A 12 POINT INSPECTION PER THE STATE OF CONNECTICUT 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE W/2018 AMENDMENT.

Finishes

1. PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION, APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
2. PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
3. PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 5/8" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.

Mechanical Notes

1. MECHANICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER INSTALLATION OF THE NEW SYSTEMS.
2. MECHANICAL CONTRACTOR SHALL DESIGN, PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY CONDITION THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS OR COMPONENTS.
3. COORDINATE MECHANICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
4. PERFORM ALL NEW MECHANICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

Electrical

1. FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
2. ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
3. ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
4. COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
5. ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
6. PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

Electrical Mounting Heights

1. ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
2. RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
3. EXTERIOR RECEPTACLES: 24" A.F.F. (20" A.F.F.)
4. SWITCHES: 48" A.F.F.
5. BOILER EMERGENCY SWITCHES: 60" A.F.F.
6. DATA / PHONE OUTLETS: 18" A.F.F.
7. TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
8. WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
9. SECURITY KEYPAD: 48" A.F.F.

Fire Protection System

1. ONE SMOKE ALARM SHALL BE PROVIDED IN EACH SEPARATE SLEEPING AREAS (INTERCONNECTED).
2. ONE SMOKE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. A SMOKE ALARM SHALL BE LOCATED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHIBITED ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. ALL SMOKE ALARMS SHALL BE INTER-CONNECTED SUCH THAT ACTUATION OF ONE WILL ACTUATE ALL SMOKE ALARMS SIMULTANEOUSLY.
5. INSTALL CARBON MONOXIDE DETECTORS AS PER CODE.

General Notes

1. ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
2. THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.

Foundation

1. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF. BACKFILL OVER EXCAVATION WITH CONCRETE, NOT ADDITIONAL SOIL.
2. NO BACKFILLING OF FOUNDATION WALLS SHALL BE UNDERTAKEN UNTIL SUITABLE WALL BRACING (TEMPORARY OR PERMANENT) HAS BEEN INSTALLED.
3. DO NOT POUR FOOTINGS ON FROZEN SOIL. REMOVE ALL FROST PRIOR TO POURING CONCRETE.
4. BOTTOM OF FOOTINGS SHALL BE INSTALLED BELOW GRADE TO PROVIDE PROTECTION FROM FROST PENETRATION. CONSULT WITH LOCAL BUILDING OFFICIALS REGARDING REQUIRED DEPTH IN THE LOCALE WHERE THE FOUNDATION IS CONSTRUCTED.
5. PROVIDE 2-#5 REINFORCING BARS CONTINUOUS IN THE TOP AND BOTTOM OF WALLS, AND IN CONTINUOUS FOOTINGS. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING REQUIRED AT COLUMN FOOTINGS.
6. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM TO SECURE FRAMING SILL TO FOUNDATION.
7. PROVIDE EXTERIOR AND/OR INTERIOR FOOTING DRAINS AS REQUIRED BY SITE CONDITIONS.
8. INSTALL FOUNDATION WATERPROOFING TO BELOW GRADE SURFACES.
9. INSTALL FOUNDATION INSULATION AS REQUIRED BY LOCAL CODES.

Concrete

1. ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301).
2. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
3. CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
4. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
5. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
6. REINFORCING BARS MARKED "CONT" SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
7. CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
8. ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.
9. REINFORCED CONCRETE FLOOR SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CRUSHED 3/8" STONE ON STRUCTURAL FILL PLACED IN 8" LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY ON FIRM, INORGANIC, VIRGIN SOIL. NOT LESS THAN ONE LAYER OF STRUCTURAL FILL SHALL BE USED.

Wood

1. ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
2. UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER.
B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (Y 510). PLYWOOD FLOOR DECKINGS SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
I. ROOF SHEATHING: C-D-EXT-APA, 1/2" THICK
II. WALL SHEATHING: C-D-EXT-APA, 1/2" THICK
III. SUBFLOORING: C-D-EXT-APA, 1/2" THICK
3. NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE'S "RECOMMENDED FASTENING SCHEDULE". NAIL PLYWOOD SHEATHING AND SUBFLOORING 6" O.C. AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS. LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
4. INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
5. NOTCHING SHALL NOT EXCEED 1/6TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
6. HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
7. ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.5E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

ADDITIONS AND RENOVATIONS TO:

56 INGLENOOK ROAD

CONNECTICUT
NEW FAIRFIELD

Sheet Description:

GENERAL NOTES

Issue Dates:

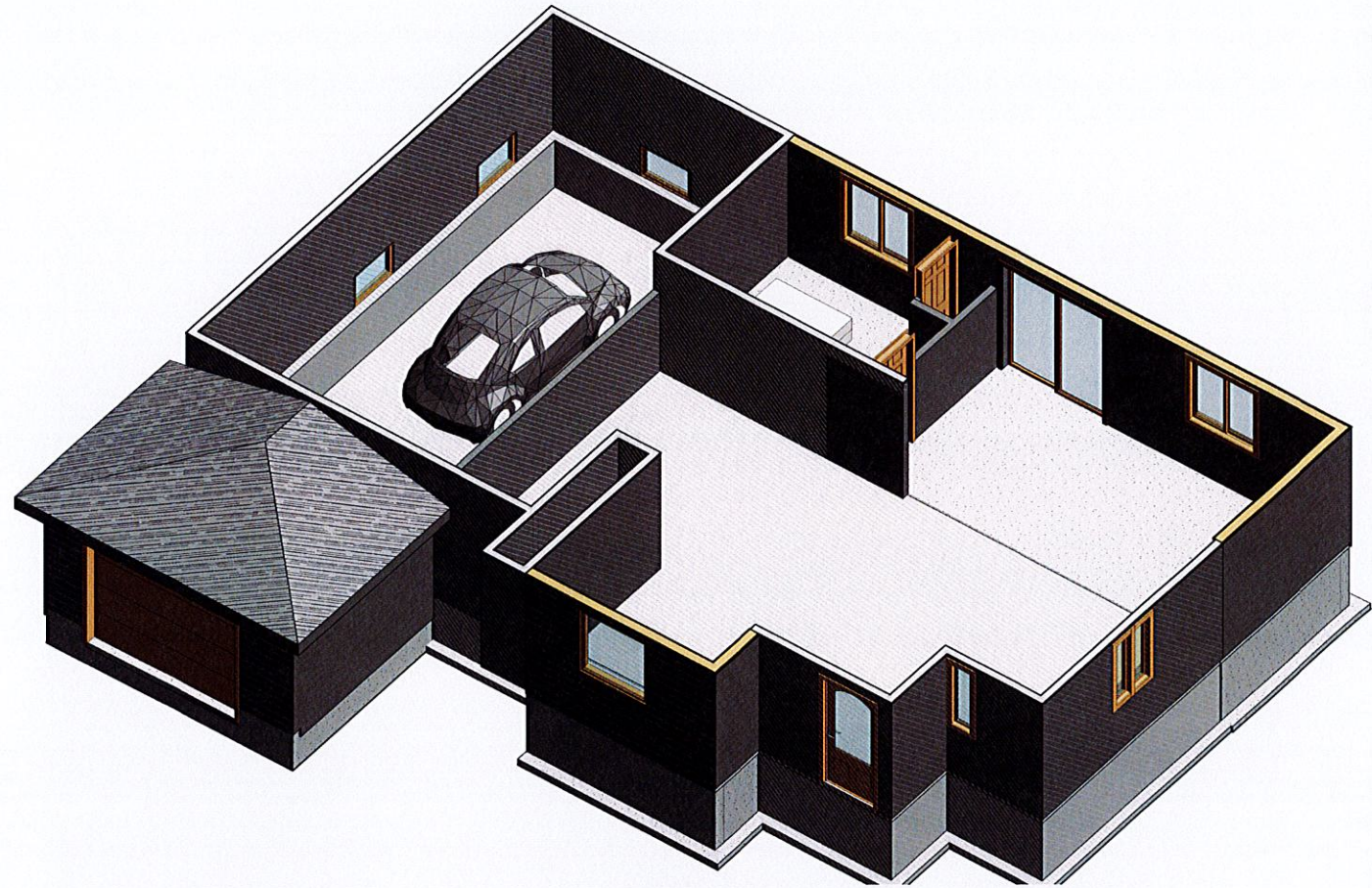
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01/27/2022

Scale:

Sheet #:

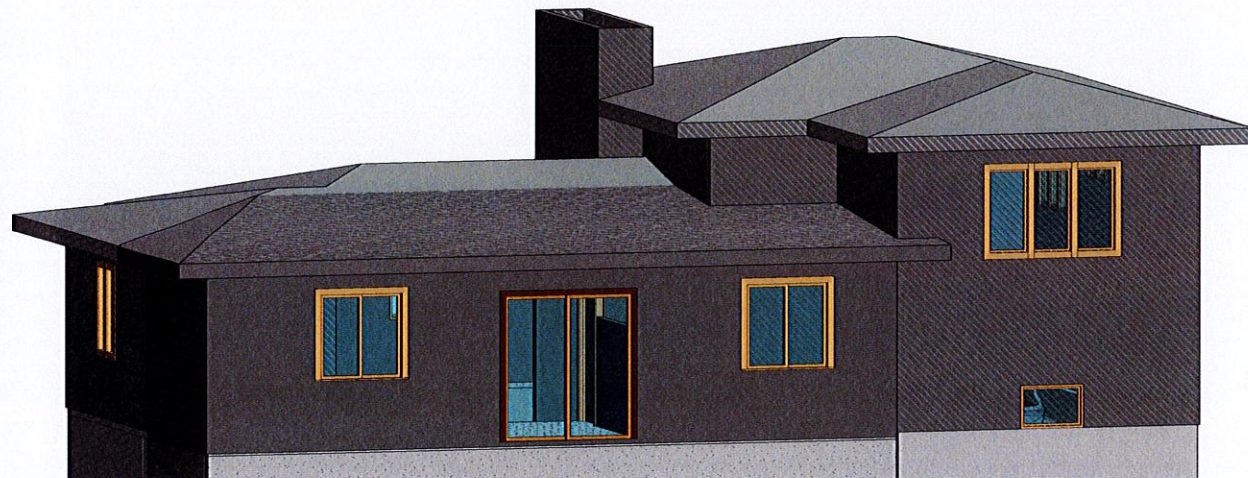
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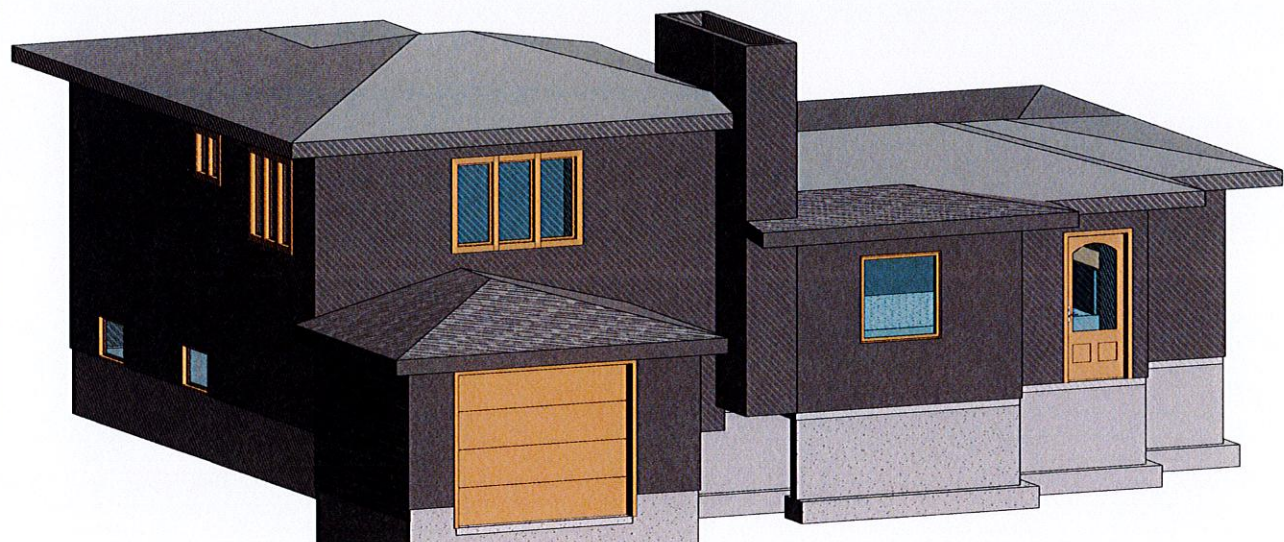
3D VIEW 4

4



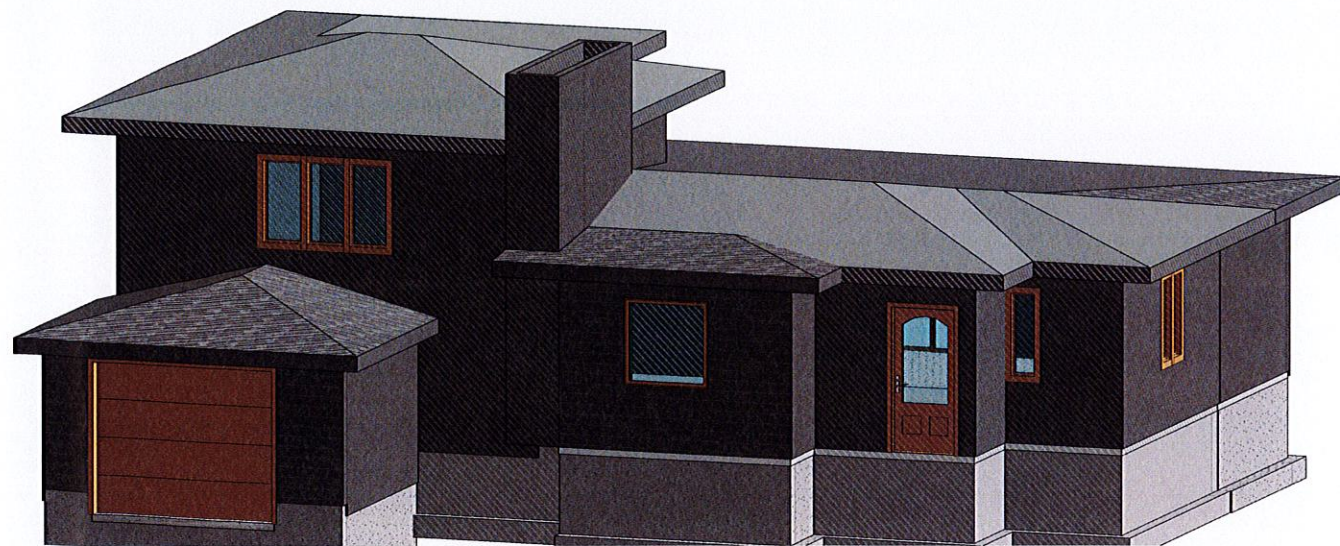
3D VIEW 2

2



3D VIEW 3

3



3D VIEW 1

1

ADDITIONS AND RENOVATIONS TO:

56 INGLENOOK ROAD

CONNECTICUT

NEW FAIRFIELD

Sheet Description:

3D VIEWS

Issue Dates:

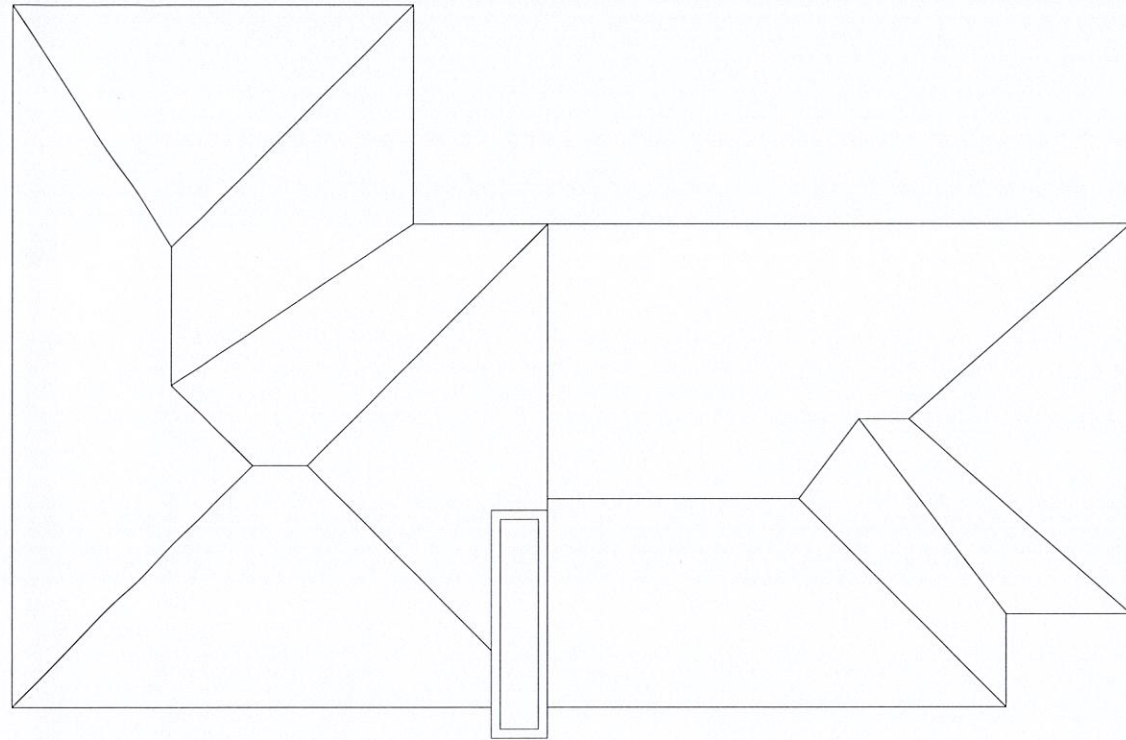
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Scale:

Sheet #:

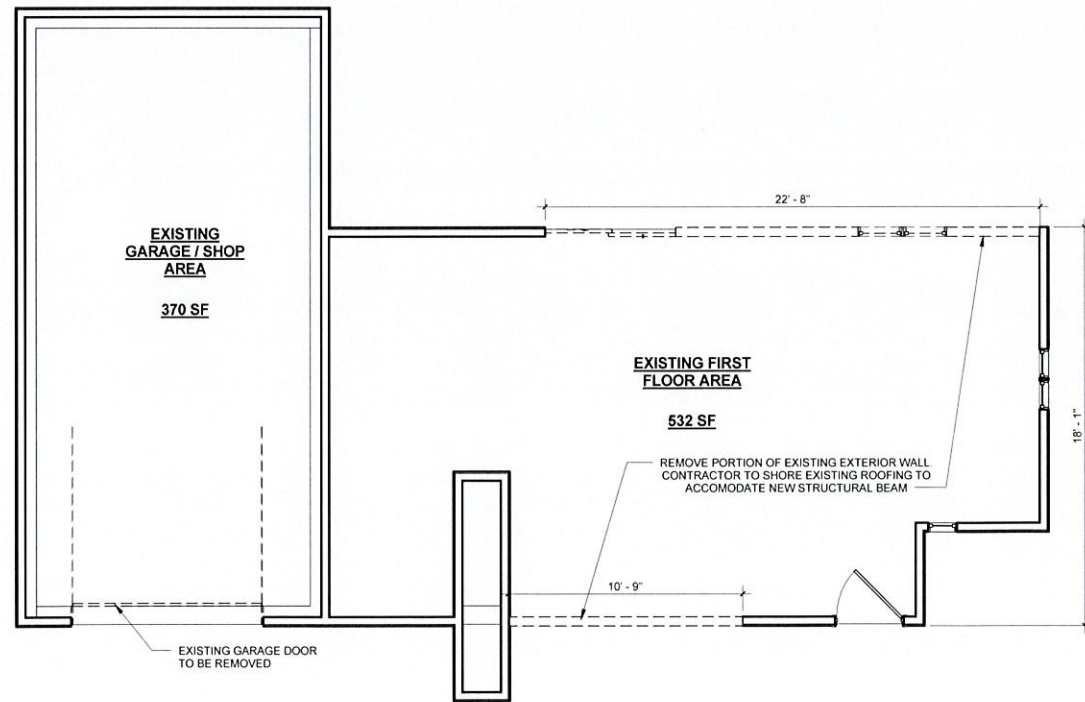
3D

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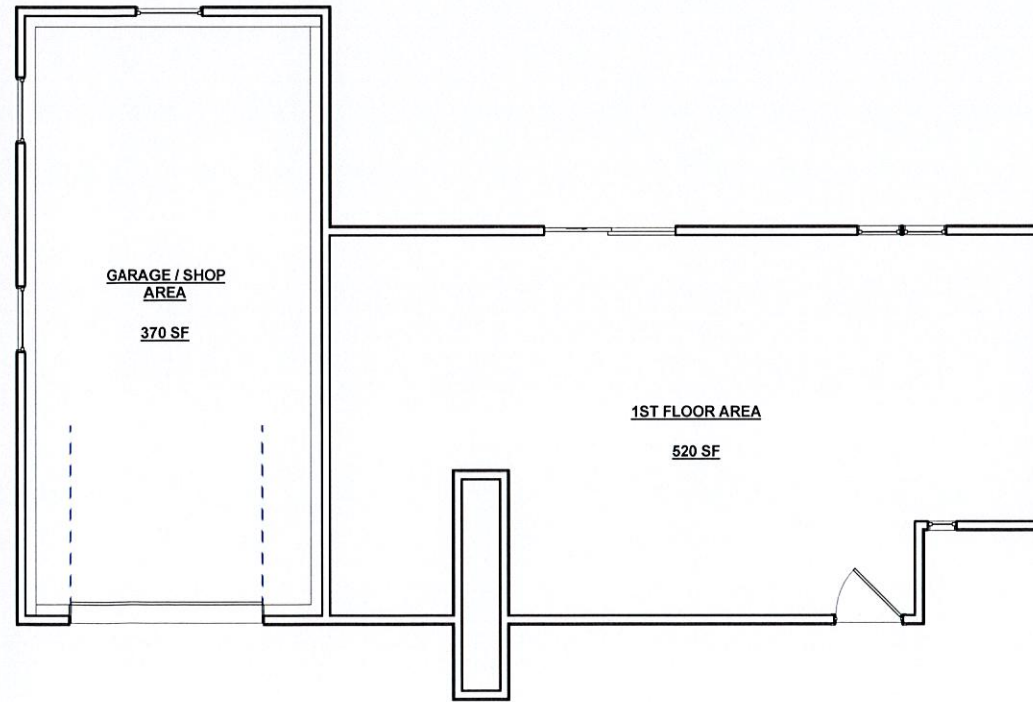
EXISTING ROOF PLAN
 1/4" = 1'-0"

2



1ST FLOOR DEMO PLAN
 1/4" = 1'-0"

3



EXISTING 1ST FLOOR PLAN
 1/4" = 1'-0"

1



ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
 NEW FAIRFIELD CONNECTICUT

Sheet Description:

EXISTING & DEMO PLANS

Issue Dates:

PERMIT SET
 01/27/2022

Scale:

1/4" = 1'-0"

Sheet #:

A1.0

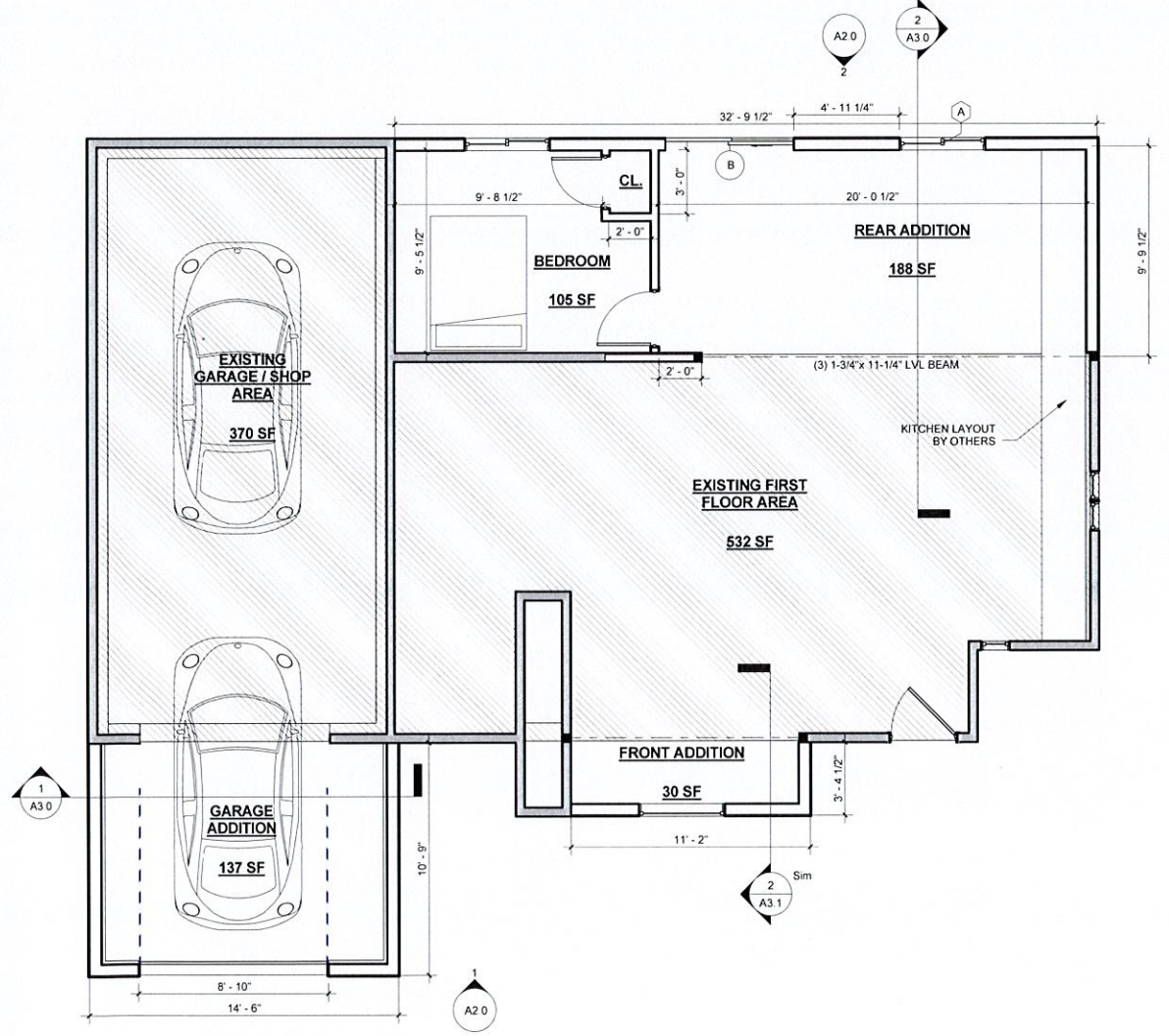
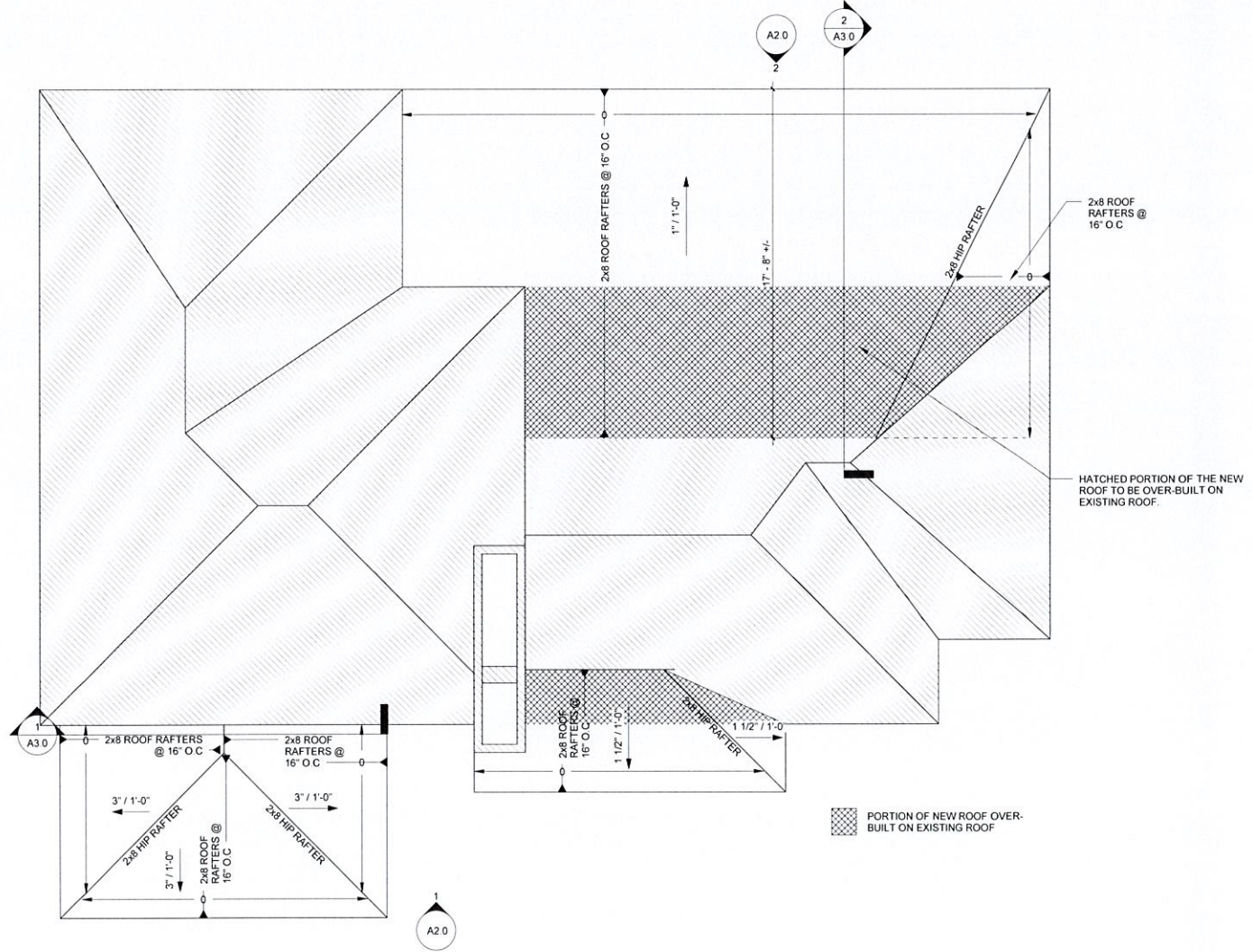
ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
 NEW FAIRFIELD CONNECTICUT

Sheet Description:
PROPOSED PLANS

Issue Dates:
 PERMIT SET
 01/27/2022

Scale:
1/4" = 1'-0"

Sheet #:



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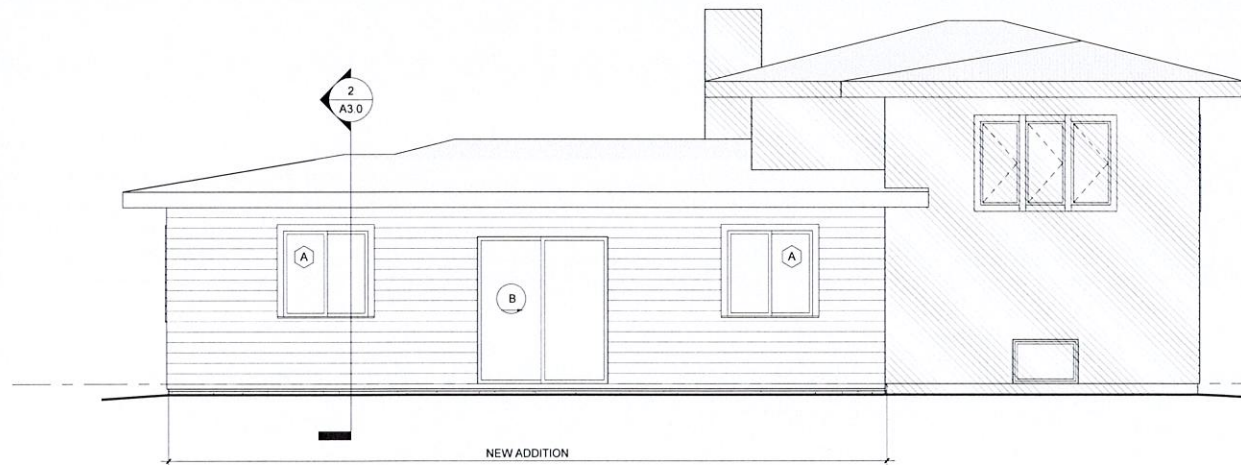
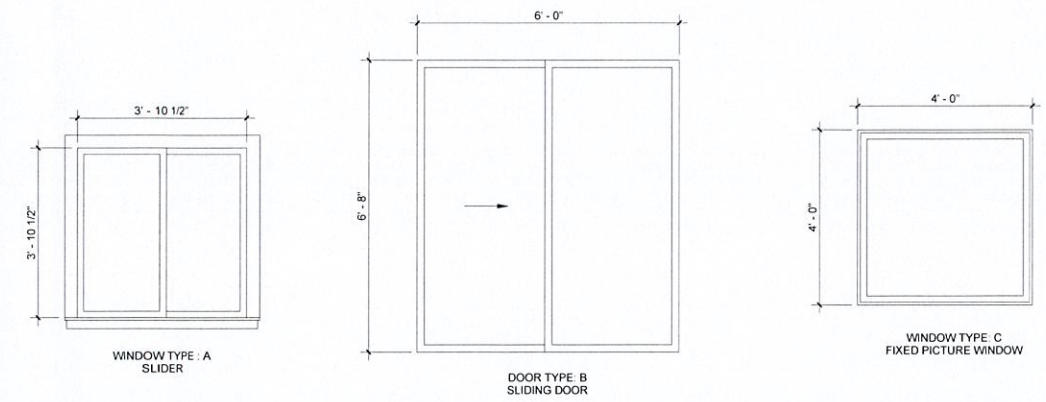
ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
 NEW FAIRFIELD CONNECTICUT

Sheet Description:
ELEVATIONS

Issue Dates:
 PERMIT SET
 01/27/2022

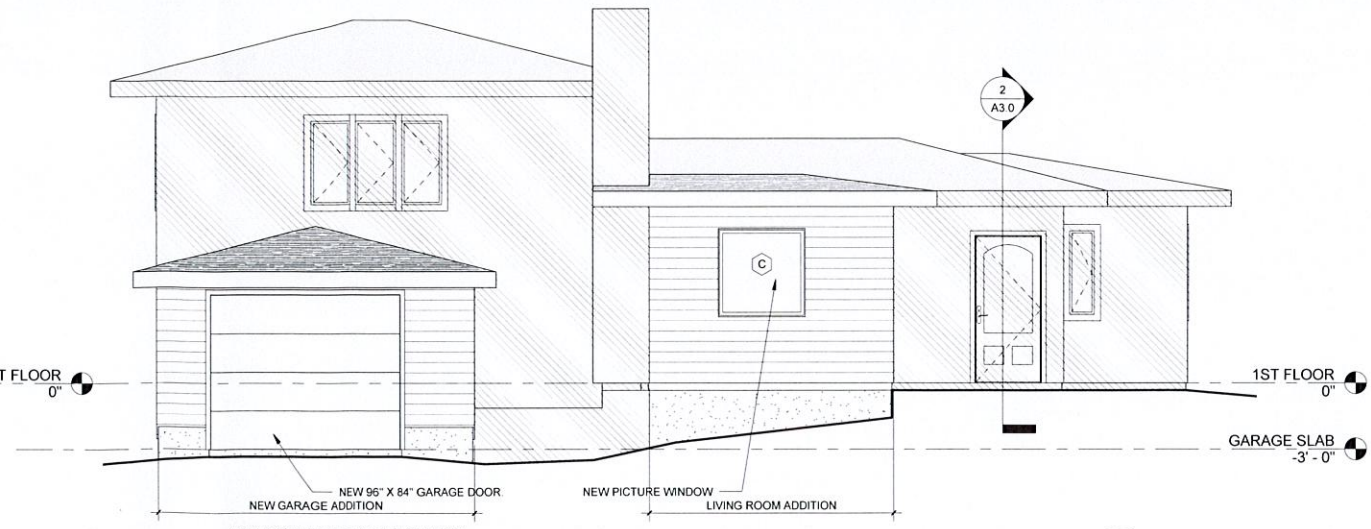
Scale:
As indicated

Sheet #:
A2.0



EAST ELEVATION
 1/4" = 1'-0"

2



WEST ELEVATION
 1/4" = 1'-0"

1

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ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
 NEW FAIRFIELD CONNECTICUT

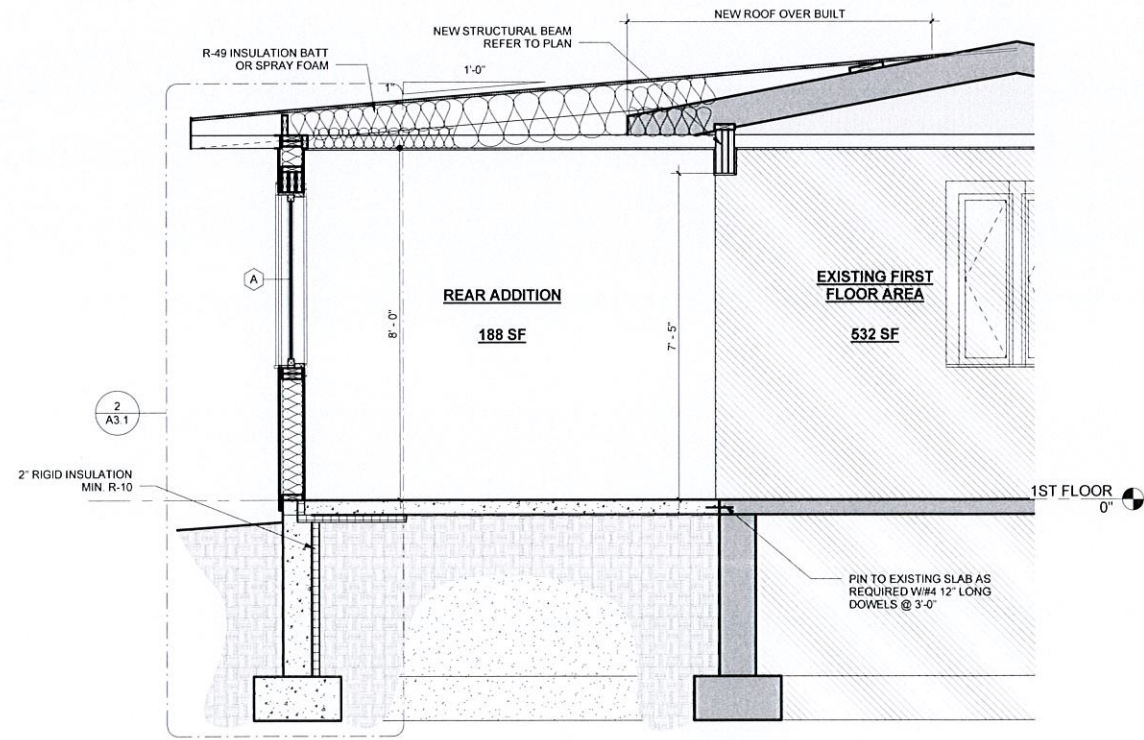
Sheet Description:
BUILDING SECTIONS

Issue Dates:
 PERMIT SET
 01/27/2022

Scale:
1/2" = 1'-0"

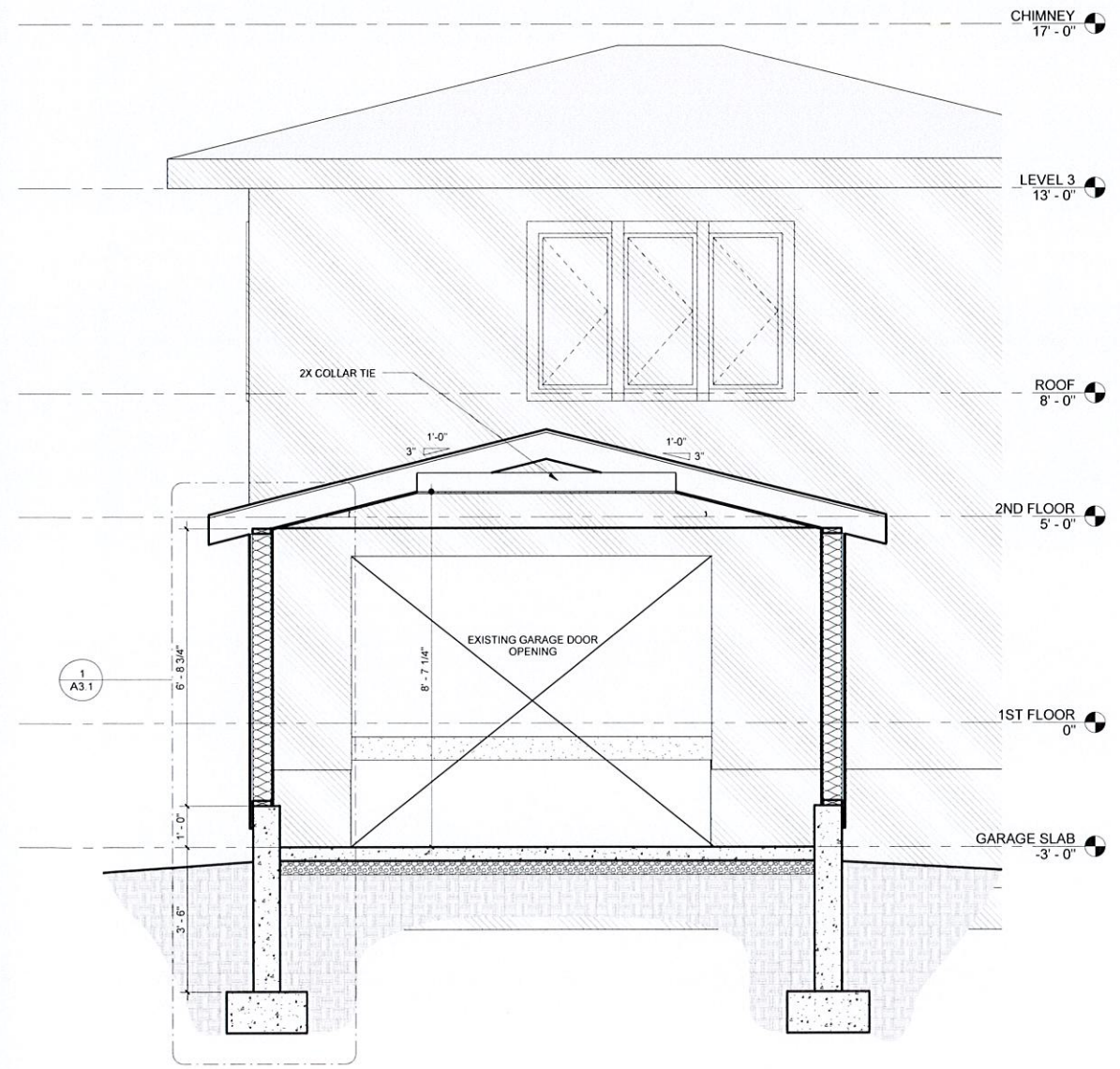
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A3.0



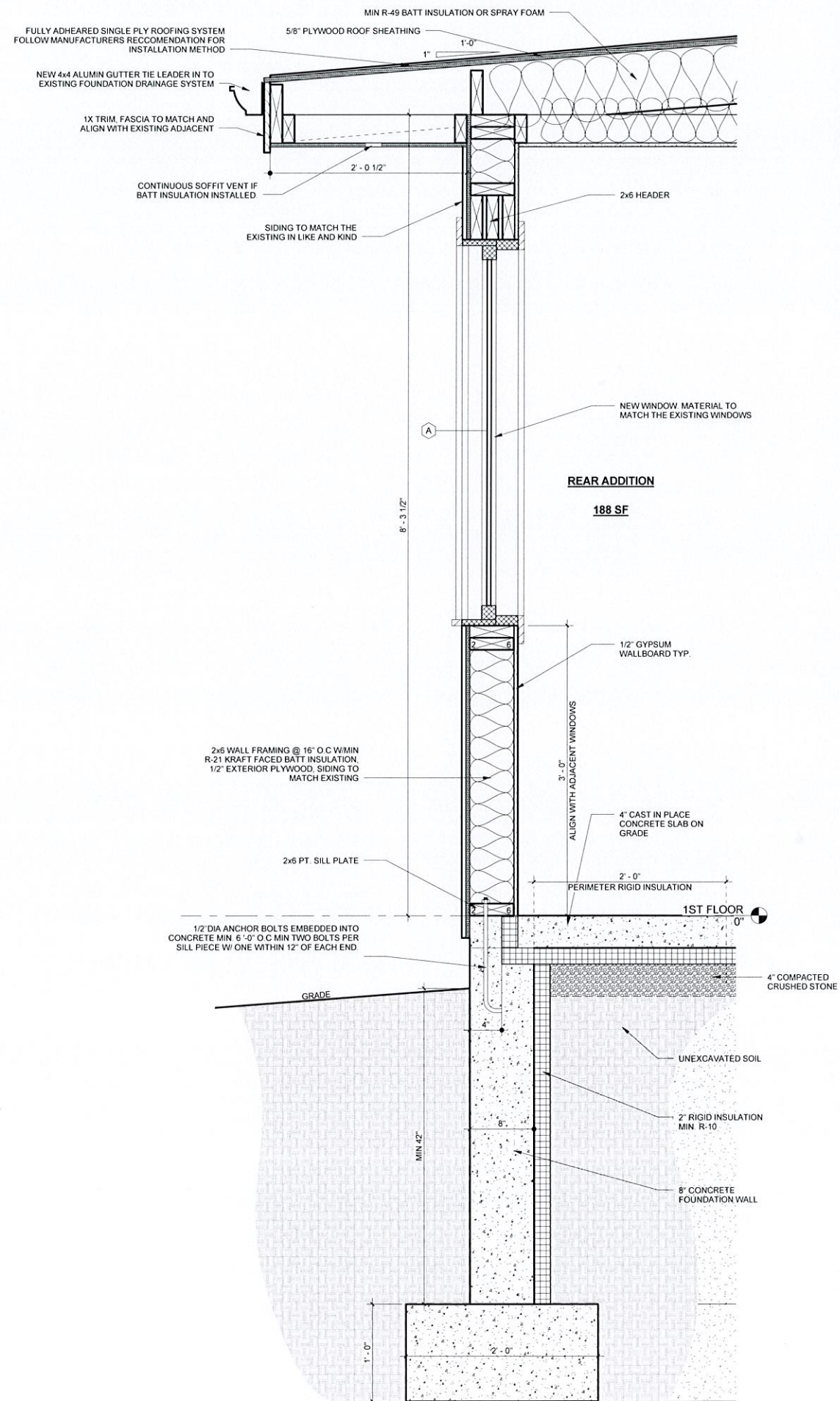
BUILDING SECTION 2
 1/2" = 1'-0"

2



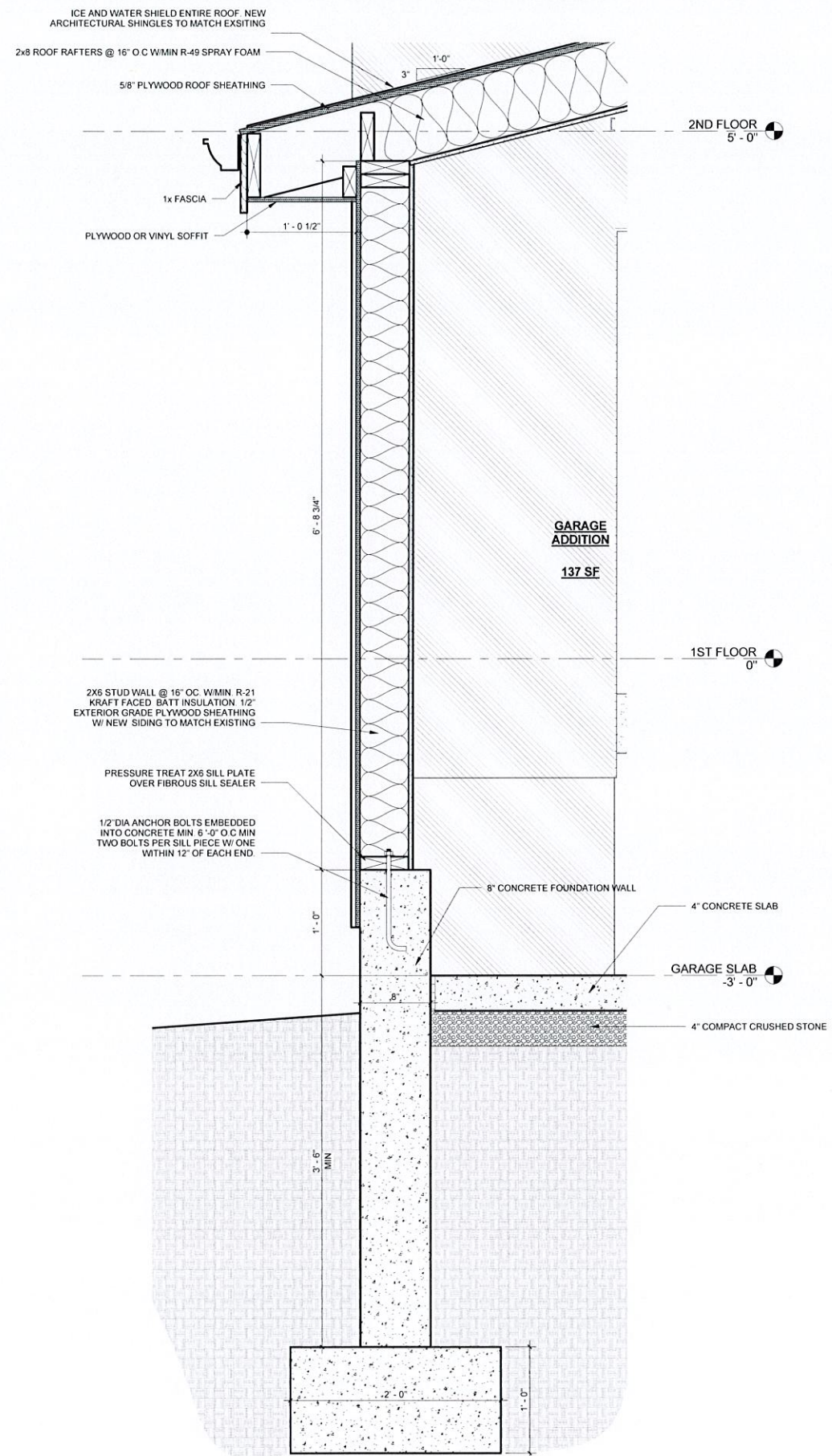
BUILDING SECTION 1
 1/2" = 1'-0"

1



TYPICAL WALL SECTION
11/2" = 1'-0"

2



WALL SECTION AT GARAGE
11/2" = 1'-0"

1

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ADDITIONS AND RENOVATIONS TO:
56 INGLENOOK ROAD
NEW FAIRFIELD
CONNECTICUT

Sheet Description:

WALL SECTIONS

Issue Dates:

PERMIT SET
01/27/2022

Scale:

1 1/2" = 1'-0"

Sheet #:

A3.1